

IOWA CITY BOARD OF ADJUSTMENT MEETING

Wednesday, May 8, 2019 – 5:15 PM

City Hall, 410 East Washington Street

Emma Harvat Hall

AGENDA

A. Call to Order

B. Roll Call

C. Consider the April 10, 2019 minutes

D. Special Exception Item

1. EXC19-04: An application submitted by Faith Baptist Church for a special exception to allow for an approximately 2,6000 square-foot addition onto the existing Church located in a Medium Density Single Family Residential (RS-8) Zone with a Planned Development Overlay (OPD) located at 1251 Village Road.

G. Adjourn

NEXT BOARD OF ADJUSTMENT MEETING:

Wednesday, June 12, 2019

If you will need disability-related accommodations in order to participate in this meeting, please contact Jesi Lile, Urban Planning at 319-356-5240 or at jessica-lile@iowa-city.org. Early requests are strongly encouraged to allow sufficient time to meet your access needs.

STAFF REPORT

To: Board of Adjustment
Item: EXC19-04
1251 Village Rd
Parcel Number: 1013452001

Prepared by: Jesi Lile, Associate Planner
Date: May 8, 2019

GENERAL INFORMATION:

Applicant/Property Owner:

Faith Baptist Church
1251 Village Rd
Iowa City, IA 52240
(319) 338-6762
Faithbaptist.iowacity@gmail.com

Contact Person:

Tim Waldron
(319) 471-8029
Faithbaptist.pastortim@gmail.com

Requested Action:

Special Exception for Religious Assembly in a
Medium Density Single Family Residential (RS-8)
Zone with a Planned Development Overlay

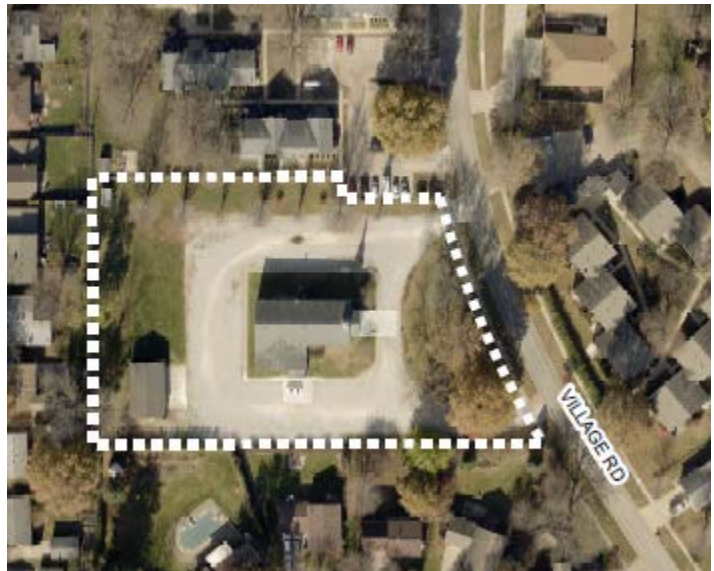
Purpose:

To allow for an approximately 2,600 square-foot
addition onto the existing Faith Baptist
Church in a Residential Zone

Location:

1251 Village Rd.

Location Map:



Size:	1.97 acres
Existing Land Use and Zoning:	Religious Assembly; Medium Density Single Family Residential (RS-8) with a Planned Development Overlay (OPD)
Surrounding Land Use and Zoning:	North: Residential; Medium Density Single Family Residential (RS-8) with a Planned Development Overlay (OPD) East: Residential; Medium Density Single Family Residential (RS-8) with a Planned Development Overlay (OPD) South: Residential; Low Density Single Family Residential (RS-5) West: Residential; Medium Density Single Family Residential (RS-8) with a Planned Development Overlay (OPD)
Applicable Code Sections:	14-4B-4D(17) , Specific Criteria for Religious/Private Group Assembly 14-4B-3A , Approval Criteria for Special Exceptions
File Date:	April 5, 2019

BACKGROUND:

Faith Baptist Church is seeking a special exception to expand their current facility located at 1251 Village Road. The property is zoned Medium Density Single Family Residential (RS-8) with a Planned Development Overlay (OPD). Religious/Private Group Assembly uses are allowed in residential zones by special exception and can add additions of less than 500 square feet that may be approved through the minor modification process. This proposed addition is a 2-story, 2,600 square foot addition onto the existing building in order to construct two new classrooms, additional restrooms, and to add an elevator. Because of the size of the proposed addition, it is considered an expansion and must go through the special exception process.

The proposed expansion is located on the southeast corner of the building visible from the street and adjacent residential uses, especially those to the south. The proposed addition will also raise the roofline of the existing building, changing visibility from the road and to surrounding neighbors. The applicant also proposes site improvements that involve paving part of the current gravel parking lot on the south side of the building, as well as bringing the site up to code in terms of landscaping and screening.

The applicant hosted a Good Neighbor Meeting on April 30, 2019. Two neighbors attended with questions and concerns about potential stormwater management issues. Pastor Waldron was able to address the neighbors' concerns, and the plans submitted to City Staff have a stormwater management facilities in place that are being reviewed by Public Works Staff.

ANALYSIS:

The purpose of the Zoning Ordinance is to promote the public health, safety and general welfare; to conserve and protect the value of property throughout the city; and to encourage the most appropriate use of land. It is the intent of the Ordinance to permit the full use and enjoyment of

property in a manner that does not intrude upon adjacent property. The Board may grant the requested special exception if the requested action is found to be in accordance with the specific criteria included for **Section 14-4B-4D(17)** pertaining to Religious/Private Group Assembly Uses in the RS-8 zone, as well as the General Standards laid out in **Section 14-4B-3**.

In order for the Board of Adjustments to grant this special exception request, each of the following criterion below must be met. The burden of proof is on the applicant, and their comments regarding each criterion may be found on the attached application. Staff comments regarding each criterion are set below.

Specific Standards: 14-4B-4D-17: Specific Criteria for Religious/Private Group Assembly in the RS-8 Zone:

a. The following setbacks are required in lieu of the setbacks specified in the base zone. However, the board of adjustment may reduce these setbacks, subject to the approval criteria for setback adjustments as specified in subsection 14-2A-4B5, "Adjustments To Principal Building Setback Requirements", of this title.

(1) Front: Twenty feet (20').

(2) Side: Twenty feet (20').

(3) Rear: Fifty feet (50').

FINDINGS:

- The existing building and proposed addition will meet all required setbacks.

b. The proposed use will be designed to be compatible with adjacent uses. The board of adjustment will consider aspects of the proposed use, such as the site size, types of accessory uses, anticipated traffic, building scale, setbacks, landscaping, and location and amount of paved areas. The board of adjustment may deny the use or aspects of the use that are deemed out of scale, incompatible, or out of character with surrounding residential uses, or may require additional measures to mitigate these differences. Additional requirements may include, but are not limited to, additional screening, landscaping, pedestrian facilities, setbacks, location and design of parking facilities, and location and design of buildings.

FINDINGS:

- The current use will not change with the proposed addition.
- The site size, anticipated traffic, setbacks, and types of accessory uses allowed will all remain the same with the proposed addition.
- The applicant is not expecting new membership with this addition, just adding classroom space for break-out groups. The main auditorium is not expanding, and is capped with a maximum occupancy of 292 people.
- The building scale will be larger with the proposed addition, particularly the roofline, However the applicant will be required to provide additional screening to reduce the impacts of the building scale.
- The proposed addition will include landscaping and adding pavement on the south side of the building. Currently, the parking lot on site is entirely gravel.

c. Given that large parking lots can seriously erode the single-family residential character of these zones, the board of adjustment will carefully review any requests for parking spaces beyond the minimum required. The board may limit the number of parking spaces and the size and location of parking lots, taking into account the availability of on street parking, the estimated parking demand, and opportunities for shared parking with other nonresidential uses in the vicinity of the use.

FINDINGS:

- The proposed addition will add eight additional parking spots. The required parking for Religious Group Assembly Uses is 1/6th of the occupant capacity of the main auditorium, which is 292 people. The required number of parking spots is 49, and the applicant is proposing to provide 67 vehicle spots and 4 bicycle parking spots.
- The applicant has submitted plans to pave part of the current gravel parking lot, bringing it up to City standards. According to 14-4E-8A(2C), Regulation of Non-Conforming Development, the applicant must bring the site into compliance, with a cap of 10% of the cost of the proposed structural changes. In this case, the applicant is proposing to pave part of the parking lot and bring landscaping and screening up to City Standards at 10% of the cost of the proposed addition. This will provide eight regular and three ADA compliant parking spaces to the site.

d. The proposed use will not have significant adverse effects on the livability of nearby residential uses due to noise, glare from lights, late night operations, odors, and litter.

FINDINGS:

- Faith Baptist has limited hours of operation with services throughout the day Sunday and into the early evening, as well as on Wednesday evenings. Most events take place inside and are not typically noisy or disruptive to neighbors, especially late at night.
- The proposed addition will not change the amount of noise, lights, hours of operation, odors and litter from the site currently.

e. The building official may grant approval for the following modifications to a religious/private group assembly use, without approval from the board of adjustment, upon written findings that the modification will not be detrimental to the public health, safety, or welfare, or be injurious to the other property or improvements in the vicinity and in the zone in which the property is located:

(1) An accessory storage building less than five hundred (500) square feet in size.

(2) A building addition of less than five hundred (500) square feet, provided the addition does not increase the occupancy load of the building.

FINDINGS:

- The proposed addition is more than 500 square feet and not eligible for the minor modification process; thus must go before the Board of Adjustment.

f. If the proposed use is located in a residential zone or in the central planning district, it must comply with the multi-family site development standards as set forth in section 14-2B-6 of this title.

FINDINGS:

- The church is located in a residential zone, and must conform to all multi-family site development standards, which will be verified during the site plan review process.

General Standards: 14-4B-3: Special Exception Review Requirements:

In order for the Board of Adjustments to grant this special exception request, each of the following criterion below must be met. The burden of proof is on the applicant, and their comments regarding each criterion may be found on the attached application. Staff comments regarding each criterion are set below.

1. The specific proposed exception will not be detrimental to or endanger the public health, safety, comfort or general welfare.

FINDINGS:

- The church has operated in this location since the early 1970's without reported health, safety, or welfare issues.
- The proposed expansion would not change the function or status of this site.

2. The specific proposed exception will not be injurious to the use and enjoyment of other property in the immediate vicinity and will not substantially diminish or impair property values in the neighborhood.

FINDINGS:

- This expansion will not change the use or enjoyment of other property in the neighborhood, nor will it diminish property values because it is not changing the use or function of the site.
- The only changes visually will be to the roofline, south entrance, and part of the parking lot.
- The parking lot improvements will make this property more attractive and more compliant with the code. The current parking lot does not meet landscaping and screening requirements. With the proposed site changes, the applicant will be required to meet the S3 screening standards of the Code where abutting residential properties.

3. Establishment of the specific proposed exception will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district in which such property is located.

FINDINGS:

- All of the adjoining property is fully developed.
- Any proposed improvements to adjoining properties will not be impacted by this expansion as it does not require any setback reductions or impede on neighboring properties.

4. Adequate utilities, access roads, drainage and/or necessary facilities have been or are being provided.

FINDINGS:

- The property is currently serviced with adequate utilities and roads, this expansion will not alter that.
- The proposed site improvements will address drainage issues on the south side of the property.
- Currently, there are no stormwater protections in place. While paving part of the parking lot will increase the impervious surface area on the lot, the applicant is proposing a conveyance to run stormwater to the east and discharge it into the street rather than flow onto properties to the south.

5. Adequate measures have been or will be taken to provide ingress or egress designed to minimize traffic congestion on public streets.

FINDINGS:

- Currently, the church operates with two driveways accessing Village Road on either side of the parking lot, and there are no proposed changes with this expansion.
- There is not any anticipated increase in traffic.

6. Except for the specific regulations and standards applicable to the exception being considered, the specific proposed exception, in all other respects, conforms to the applicable regulations or standards of the zone in which it is to be located.

FINDINGS:

- The proposed special exception conforms to all setbacks.
- There is no proposed change in use or function, including the number of people served. The current capacity for the main auditorium is 292 people.
- The current parking lot has adequate space for present use and the expansion would add new spaces without increasing the allowed maximum capacity of the main auditorium.
- The proposed site improvements must comply with parking and landscaping requirements.

7. The proposed exception will be consistent with the Comprehensive Plan of the City, as amended.

FINDINGS:

- Neither the Comprehensive Plan nor Southeast District Plan directly mention religious institutions, but both address neighborhood stability. This church has been at this location for decades and continues to make site improvements. This adds to neighborhood stability and visual attractiveness.
- Both plans mention that religious and private institutional uses can be allowed in any zoning district through the special exception process.

STAFF RECOMMENDATION:

Staff recommends approval of EXC19-04, a special exception to allow the expansion of a Religious Assembly Use in Medium Density Single Family Residential (RS-8) zone with a Planned Development Overlay (OPD), to build an approximately 2,600 square foot addition on the existing building in order to add additional classrooms, restrooms, and an elevator with the following condition:

1. The applicant shall install stormwater management infrastructure as shown on the major site plan dated January 9, 2019 or equivalent infrastructure subject to review and approval by the Director of Public Works or a designee.

ATTACHMENTS

1. Location Map
2. Zoning Map
3. Application Materials
4. Major Site Plan

Approved by: _____

A handwritten signature in dark ink, appearing to read "D. Sitzman", with a long horizontal flourish extending to the right.

Danielle Sitzman, AICP, Development Services Coordinator
Department of Neighborhood and Development Services



0 0.015 0.03 0.06 Miles

EXC19-04

Faith Baptist Church - 1251 Village Road



Prepared By: Luke Foelsch
Date Prepared: April 2019



An application submitted by Faith Baptist Church for a special exception allowing an addition to existing church structure.



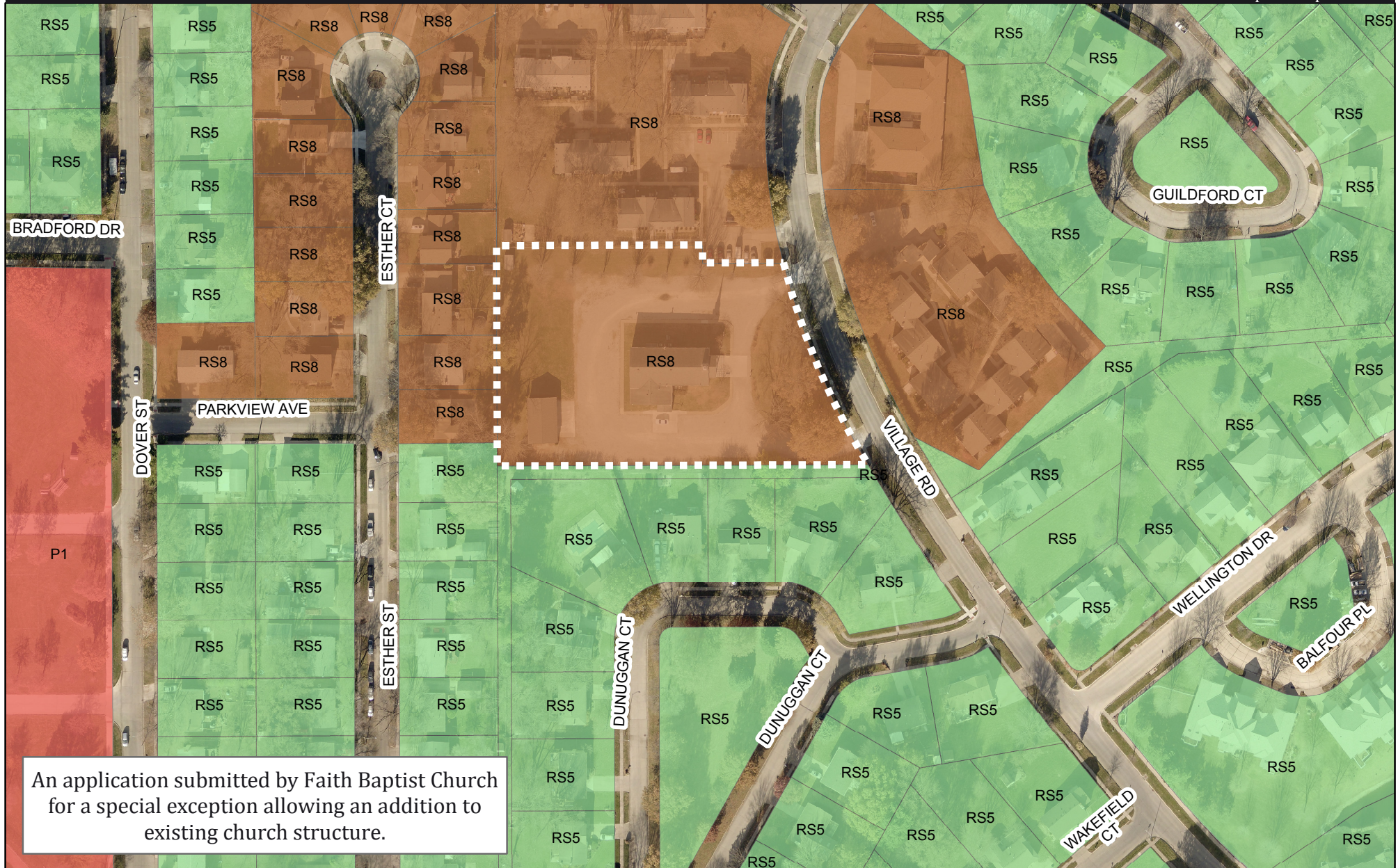
0 0.015 0.03 0.06 Miles

EXC19-04

Faith Baptist Church - 1251 Village Road



Prepared By: Luke Foelsch
Date Prepared: April 2019



Exc 19-00004

APPLICATION TO THE BOARD OF ADJUSTMENT SPECIAL EXCEPTION

DATE: April 4, 2019

PROPERTY PARCEL NO. 1013452001

PROPERTY ADDRESS: 1251 Village Road, Iowa City, Iowa 52240

PROPERTY ZONE: OPD-8

PROPERTY LOT SIZE: 1.97 acres

APPLICANT:	Name: <u>Faith Baptist Church</u>
	Address: <u>1251 Village Road</u>
	Phone: <u>319-338-6762</u>
	Email: <u>faithbaptist.iowacity@gmail.com</u>
CONTACT PERSON: (if other than applicant)	Name: <u>Tim Waldron</u>
	Address: _____
	Phone: <u>319-338-6762; 319-471-8029</u>
	Email: <u>faithbaptist.pastortim@gmail.com</u>
PROPERTY OWNER: (if other than applicant)	Name: _____
	Address: _____
	Phone: _____
	Email: _____

FILED

APR 05 2019

City Clerk
Iowa City, Iowa

Specific Requested Special Exception; please list the description and section number in the zoning code that addresses the specific special exception you are seeking. If you cannot find this information or do not know which section of the code to look in, please contact Jesi Lile at 356-5240 or e-mail jessica-lile@iowa-city.org.

Purpose for special exception: 14-B-4, Section D 17 Religious/Private Group Assembly

Proposed addition to existing church structure

Date of previous application or appeal filed, if any: NA

* Big Plans
sent to NDS 4/5/19

CITY OF IOWA CITY
REVENUE DIVISION
410 E WASHINGTON ST
IOWA CITY, IA 52240
(319) 356-5066

009449-0025 Trina S. 04/05/2019 01:45PM

MISCELLANEOUS

Description: OTHER
(OTHER)

Reference 1: EXC

Reference 2: 19-00004

OTHER (OTHER)

2019 Item: OTHER

1 @ 460.00

OTHER (OTHER)

460.00

95900000-101100-

460.00D

10610620-341200-

460.00C

Payment Id: 332007

460.00

Subtotal

Total

460.00

460.00

CHECK

Check Number 9447

460.00

Change due

0.00

Paid by: FAITH BAPTIST

THANK YOU FOR YOUR PAYMENT

CUSTOMER COPY

LEGAL DESCRIPTION

VILLAGE GREEN ADDITION PART 2 LOT 57

FILED

APR 05 2019

City Clerk
Iowa City, Iowa

In order for your application to be considered complete, you must provide responses to all of the information requested below. **Failure to provide this information may delay the hearing date for your application. A pre-application consultation with Planning staff is STRONGLY recommended to ensure that your application addresses all of the required criteria.**

As the applicant, you bear the burden of proof for showing that the requested exception should be granted. Because this application will be presented to the Board of Adjustment as your official statement, you should address all the applicable criteria in a clear and concise manner.

INFORMATION TO BE PROVIDED BY APPLICANT:

A. Legal description of property (attach a separate sheet if necessary):

You can find the legal description and parcel number for your property by doing a parcel search for your address on the Assessor's website at www.iowacity.iowaassessors.com/or by calling 319-356-6066.

B. Plot Plan/Site Plan drawn to scale showing all of the following information:

1. Lot with dimensions;
2. North point and scale;
3. Existing and proposed structures with distances from property lines;
4. Abutting streets and alleys;
5. Surrounding land uses, including location and record owner of each property opposite or abutting the property in question;
6. Parking spaces and trees - existing and proposed.
7. Any other site elements that are to be addressed in the specific criteria for your special exception (i.e., some uses require landscape screening, buffers, stacking spaces, etc.)

C. Specific Approval Criteria: In order to grant a special exception, the Board must find that the requested special exception meets certain specific approval criteria listed within the Zoning Code. In the space below or on an attached sheet, address each of the criteria that apply to the special exception being sought. Your responses to these criteria should just be opinions, but should provide specific information demonstrating that the criteria are being met. (Specific approval criteria for uses listed as special exceptions are described in 14-4B-4 of the Zoning Code. Other types of special exceptions to modify requirements for the property are listed elsewhere in the Code.)

IF YOU DO NOT KNOW WHERE TO FIND THE SPECIFIC CRITERIA THAT MUST BE ADDRESSED, please contact Jesi Lile at 356-5240 or e-mail jessica-lile@iowa-city.org. **Failure to provide this information will constitute an incomplete application and may lead to a delay in its consideration before the Board of Adjustment.**

FILED

APR 05 2019

City Clerk
Iowa City, Iowa

D. **General Approval Criteria:** In addition to the specific approval criteria addressed in "C", the Board must also find that the requested special exception meets the following general approval criteria or that the following criteria do not apply. In the space provided below, or on an attached sheet, provide specific information, not just opinions, that demonstrate that the specific requested special exception meets the general approval criteria listed below or that the approval criteria are not relevant in your particular case.

1. **The specific proposed exception will not be detrimental to or endanger the public health, safety, comfort, or general welfare.**

The proposed addition to our existing structure will not be detrimental or endanger the public health, safety, comfort, or general welfare. There is no change in current function or status.

2. **The specific proposed exception will not be injurious to the use and enjoyment of other property in the immediate vicinity and will not substantially diminish and impair property values in the neighborhood.**

The function and use of the proposed addition remains the same as our existing structure. No change in noise, lighting levels, or traffic movement.

3. **Establishment of the specific proposed exception will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district in which such property is located.**

All adjoining property is fully developed. The current use is permitted in this residential zoning district.

FILED

APR 05 2019

City Clerk
Iowa City, Iowa

4. **Adequate utilities, access roads, drainage and/or necessary facilities have been or are being provided.**

The current property is adequately serviced with utilities, access roads, drainage and necessary facilities. The proposed site improvement will address drainage issues on the south side of the property in conformity to current regulations.

5. Adequate measures have been or will be taken to provide ingress or egress designed to minimize traffic congestion on public streets.

No changes proposed. No increase in vehicular traffic is anticipated.
Current double egress/ingress reduces congestion.

6. Except for the specific regulations and standards applicable to the special exception being considered, the specific proposed exception in all other respects conforms to the applicable regulations or standards of the zone in which it is to be located. [Depending on the type of special exception requested, certain specific conditions may need to be met. The applicant will demonstrate compliance with the specific conditions required for a particular use as provided in the City Code section 14-4B as well as requirements listed in the base zone or applicable overlay zone and applicable site development standards (14-5A through K).]

See attached sheet.

FILED

APR 05 2019

City Clerk
Iowa City, Iowa

7. The proposed use will be consistent with the Comprehensive Plan of the City.

Religious uses are considered an asset to the surrounding neighborhood and community. We consider it a privilege to serve our community.

6. Except for the specific regulations and standards applicable to the special exception being considered, the specific proposed exception in all other respects conforms to the applicable regulations or standards of the zone in which it is to be located. [Depending on the type of special exception requested, certain specific conditions may need to be met. The applicant will demonstrate compliance with the specific conditions required for a particular use as provided in the City Code section 14-4B as well as requirements listed in the base zone or applicable overlay zone and applicable site development standards (14-5A through K).]

- 17a We conform to setbacks.
- 17b No change in use is proposed. No anticipation in building addition changing impact on adjoining property. Part of the project is update of exterior surfaces of existing structure (siding and roofing).
- 17c The current gravel parking lot provides adequate parking for present use. The proposed paved lot to the south of the structure will not alter the current capacity. No on-street or shared parking is available.
- 17d No proposed change in use or function. We anticipate no change in livability of nearby residential properties or uses.
- 17e NA. Addition is greater than 500 sq. ft.
- 17f Proposed parking meets this standard. Existing landscaping is compliant with 14-2B-6. Proposed paved parking is minimum 10 ft. away from existing and proposed structure.

FILED

APR 05 2019

City Clerk
Iowa City, Iowa

- E. List the names and mailing addresses of the record owners of all property located within 300 feet of the exterior limits of the property involved in this appeal:

<u>NAME</u>	<u>ADDRESS</u>

FILED

APR 05 2019

City Clerk
Iowa City, Iowa

**HOMEOWNER'S
MAILING ADDRESS
April 2019**

John H & Marie C Roesler
1216 Esther Ct.
Iowa City IA 52240

Kevin E Lehman
3745 Hiland View NE
North Liberty IA 52317

Brett G & Dianne O Irving
1225 Esther Ct.
Iowa City IA 52240

Greater Iowa City Housing
322 E 2nd St
Iowa City IA 52240

Isis Investments LLC
321 E Market St #103
Iowa City IA 52245

Susan A. Herman
1240 Esther Ct.
Iowa City, IA. 52240

Joye A Walker
1241 Esther Ct.
Iowa City IA 52240

Richard C & Kim M Downes
2630 Rochester Ave
Iowa City IA 52245

Mark A & Carol L Greve
1249 Esther Ct.
Iowa City IA 52240

Larry Lee & Debra Sue Starr
1256 Esther Ct.
Iowa City IA 52240

Successful Living Supportive
Housing Program
2406 Towncrest Dr
Iowa City IA 52240

Nicholson Properties LLC
115 Watercress Rd
North Liberty IA 52317

David L & Sandra Kay Wood
1265 Esther Ct.
Iowa City IA 52240

Brett A & Shawna L Elder
1272 Esther Ct.
Iowa City IA 52240

Raymond T. McCreery
1280 Esther Ct.
Iowa City, IA. 52240

Candy Lee Axeen
1304 Esther St.
Iowa City, Iowa 52240

Richard W & Ruth L Lutz
1310 Esther St
Iowa City IA 52240

Mayors Youth Empowerment
Program
1311 Esther St.
Iowa City, IA. 52240

Michael Sang Robertson
1316 Esther St.
Iowa City, IA. 52240

Jane E. Blake
1317 Esther St.
Iowa City, IA. 52240

William P & Linda L Mitchell
1322 Esther St
Iowa City IA 52240

Lisa A. Kohler
1323 Esther St. Iowa City, Iowa
52240

Bonnie Rae Love
1328 Esther St.
Iowa City, IA. 52240

Jacob C. Varvel
1329 Esther St.
Iowa City, IA. 52240

Curtis J. Murra
1402 Esther St.
Iowa City, Iowa 52240

FILED

APR 05 2019

City Clerk
Iowa City, Iowa

Jeffery J. Dancer
1408 Esther St.
Iowa City, IA. 52240

David Kreiter
1322 Dover St.
Iowa City, IA. 52240

Skip T. Hansen
1239 Guildford Ct.
Iowa City, IA. 52240

Marcia K. Hupp
1226 Dover St. Iowa City, IA.
52240

Hai Duong
3001 Parkview Ave.
Iowa City, IA. 52240

Victor Garcia
2 Dunuggan Ct.
Iowa City, IA. 52240

Liz Uribe
1234 Dover St.
Iowa City, IA. 52240

Helene R. Hembreiker
3002 Parkview Ave.
Iowa City, IA. 52240

David A & Elizabeth D Boal
3 Dunuggan CT
Iowa City IA 52240

Pamela G. Halter
1242 Dover St.
Iowa City, IA. 52240

Jeffery Edward Keyser
3005 Parkview Ave.
Iowa City, IA. 52240

Joe Ellis Bell Jr.
5 Dunuggan Ct.
Iowa City, IA. 52240

Curtis J. Dillon
1250 Dover St.
Iowa City, IA. 52240

Paige N & Drake L Epkes
3006 Parkview Ave
Iowa City IA 52240

Rachel M. Williams
6 Dunuggan Ct.
Iowa City, IA. 52240

Keith D & Lisa R Dubrava
1258 Dover St.
Iowa City IA 52240

Successful Living Supportive
Housing Program
3107 Village Road
Iowa City, IA. 52240

Zdenka Daszkiewicz
9 Dunuggan Ct.
Iowa City, IA. 52240

Sharon J. Buell
1264 Dover St.
Iowa City, IA. 52240

Robert A. Etscheidt
1209 Guildford Ct.
Iowa City, IA. 52240

David L. Ricklefs
10 Dunuggan Ct.
Iowa City, IA. 52240

Diana M. Durham
1310 Dover St.
Iowa City, IA. 52240

Myra E. Youssef
1221 Guildford Ct.
Iowa City, IA. 52240

Kimberly J. Schiltz
13 Dunuggan Ct.
Iowa City, IA. 52240

City Of Iowa City
410 E Washington St.
Iowa City IA 52240-1826

Joseph R. Manning
1227 Guildford Ct.
Iowa City, IA. 52240

Devin R. Dykes
14 Dunuggan Ct.
Iowa City, IA. 52240

FILED

APR 05 2019

City Clerk
Iowa City, Iowa

Jessica L. Ferdig
18 Dunuggan Ct.
Iowa City, IA. 52240

Sally Horak
PO Box 349
Jefferson IA 50129-0349

Mark D Homewood
3051 Wayne Ave Unit 43
Iowa City IA 52240

James C. Heefner
22 Dunuggan Ct.
Iowa City, IA. 52240

Judith Kay Olson
3051 Wayne Ave Unit 23
Iowa City IA 52240

J Eric & Dena G Miller
3051 Wayne Ave Unit 44
Iowa City IA 52240

Mary C. Odle
26 Dunuggan Ct.
Iowa City, IA. 52240

Tyler R Nelson
3051 Wayne Ave #24
Iowa City IA 52240

Amy E Newton
3051 Wayne Ave Unit 51
Iowa City IA 52240

Jason M. Urdahl
30 Dunuggan Ct.
Iowa City, IA. 52240

Benjamin J Pelzer
3051 Wayne Ave Unit 31
Iowa City IA 52240

Cassidy R Bell
3051 Wayne Ave #52
Iowa City IA 52240

Rachael Snyder
3051 Wayne Ave Unit 11
Iowa City IA 52240

Elisabeth A Wolf
1842 Chelsea CT
Iowa City IA 52240

Kathleen Fitzpatrick
3051 Wayne Ave Unit 53
Iowa City IA 52240

Cmb Rentals LLC
6 Melrose Cir
Iowa City IA 52246

Mark A Johnson
808 Crestview Ave
Story City IA 50248

Paula M Rios
3051 Wayne Ave Unit 54
Iowa City IA 52240

Steven C Milder
3051 Wayne Ave Unit 13
Iowa City IA 52240

Dennis E & Barbara J Price
3051 Wayne Ave Unit 34
Iowa City IA 52240

Kenneth E Adams
3051 Wayne Ave Unit 61
Iowa City IA 52240-2860

Dwain C & Catherine C
Coleman
3051 Wayne Ave Unit 14
Iowa City IA 52240

Jo Ann Willey
3051 Wayne Ave Unit 41
Iowa City IA 52240

Page E Appelbaum
3051 Wayne Ave Unit 62
Iowa City IA 52240

Eunice Marie Prosser
3051 Wayne Ave Unit 21
Iowa City IA 52240

Grace Mark Investments LLC
321 E Market St
Iowa City IA 52245

Doina Johnson
3051 Wayne Ave Unit 63
Iowa City IA 52240

Kyle S Thomae
3051 Wayne Ave Unit 64
Iowa City IA 52245

FILED

APR 05 2019

City Clerk
Iowa City, Iowa

Robert & Connie Pierce
1204 Village Rd
Iowa City IA 52240

William H & Kathleen J Napier
816 Ave E
Fort Madison IA 52627

Kenneth M & Patricia J Bowen
1210 Village Rd
Iowa City IA 52240

Susan K Denham Jordt
1212 Village Rd
Iowa City IA 52240

Craig Allen Dresser
1220 Village Rd Apt 1
Iowa City IA 52240

Matthew & Judy Redeker
1220 Village Rd #2
Iowa City IA 52240

Teresa A Daugherty
1220 Village Rd Apt 3
Iowa City IA 52240

Andrea C Gaston
1220 Village Rd #4
Iowa City IA 52240

Nathan Sams
635 Rachel St
North Liberty IA 52317

Cary L Spicher
1220 Village Rd Apt 6
Iowa City IA 52240

Peter D & Yuki Heimer
Minoh Shi
Osaka-Fu Japan 5620031

Amy J Eckrich
1220 Village Rd Apt 8
Iowa City IA 52240

Michael Partridge
PO Box 1460
Iowa City IA 52244-1460

Paul Patrick & Tobey Ann Kelly
1220 Village Rd Apt 10
Iowa City IA 52240

Hacap Inc
PO Box 490
Hiawatha IA 52233-0490

Levi Delaney Sands
1220 Village Rd #12
Iowa City IA 52240

Jerilynn O'conner
1220 Village Rd Apt 13
Iowa City IA 52240

Lynn L & Nyle K Dotson
2207 W 11th St
Spencer IA 51301

Zachary S Madrid
1220 Village Rd #15
Iowa City IA 52240

Cane Properties LLC
4761 Dryden CT
Iowa City IA 52245

Skip T & Janelle A Hansen
1239 Guildford CT
Iowa City IA 52240

Tyler Farber
1233 Guildford CT
Iowa City IA 52240

Joseph R & Debbie L Manning
1227 Guildford CT
Iowa City IA 52240

Myra Youssef
1221 Guildford CT
Iowa City IA 52240

Jenilyn D Lewis
1215 Guildford CT
Iowa City IA 52240

Jane Elizabeth Walker
Revocable Trust
1290 Villiage Road
Iowa City IA 52240

Douglas J & Julie A Horras
1240 Village Rd
Iowa City IA 52240

James R & Connie J Olson
3126 Wellington Dr
Iowa City IA 52240

Scott R & Kristie A Leeman
3114 Wellington Dr
Iowa City IA 52240

FILED

APR 05 2019

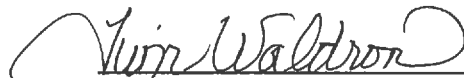
City Clerk
Iowa City, Iowa

NOTE: Conditions. In permitting a special exception, the Board may impose appropriate conditions and safeguards, including but not limited to planting screens, fencing, construction commencement and completion deadlines, lighting, operational controls, improved traffic circulation requirements, highway access restrictions, increased minimum yard requirements, parking requirements, limitations on the duration of a use or ownership or any other requirement which the Board deems appropriate under the circumstances upon a finding that the conditions are necessary to fulfill the purpose and intent of the Zoning Chapter. (Section 14-8C-2C-4, City Code).

Orders. Unless otherwise determined by the Board, all orders of the Board shall expire six (6) months from the date the written decision is filed with the City Clerk, unless the applicant shall have taken action within the six (6) month period to establish the use or construct the building permitted under the terms of the Board's decision, such as by obtaining a building permit and proceeding to completion in accordance with the terms of the permit. Upon written request, and for good cause shown, the Board may extend the expiration date of any order without further public hearing on the merits of the original appeal or application. (Section 14-8C-1E, City Code).

Petition for writ of certiorari. Any person or persons, jointly or severally, aggrieved by any decision of the Board under the provisions of the Zoning Chapter, or any taxpayer or any officer, department or board of the City may present to a court of record a petition for writ of certiorari duly verified, setting forth that such decision is illegal, in whole or in part, and specifying the grounds of the illegality. (Section 14-8C-1F, City Code). Such petition shall be presented to the court within thirty (30) days after the filing of the decision in the office of the City Clerk.

Date: April 4., 20 19 Faith Baptist Church


Signature(s) of Applicant(s)

Date: _____, 20 ____

Signature(s) of Property Owner(s)
if Different than Applicant(s)

ppdadmin\application-boase.doc

FILED

APR 05 2019

City Clerk
Iowa City, Iowa

FAITH BAPTIST CHURCH
Parking Lot Totals
December 2018 - March 2019

12-16-18	66
12-23-18	63
12-30-18	64
1-6-19	68
1-13-19	55
1-20-19	60
1-27-19	62
2-3-19	63
2-10-19	59
2-17-19	37
2-24-19	42
3-3-19	65
3-10-19	63
3-17-19	70
3-24-19	58
3-31-19	68

FILED

APR 05 2019

City Clerk
Iowa City, Iowa

Phase	Description	Total Amount
GENERAL REQUIREMENTS		
1101.00	Personnel: Supervision	
	Superintendent	18,700
1400.00	Testing Services	
	<i>Testing Services -- BY OWNER</i>	
1511.00	Temp: Utilities	
	<i>Temp Electricity -- BY OWNER</i>	
	<i>Temp Heat -- NONE INCLUDED</i>	
	Temp Phone	400
	Temp Fax/Internet	200
	<i>Temp Water -- BY OWNER</i>	
	Temp Toilet	300
1521.00	Temp: Facilities	
	<i>Temp Fence (Own)</i>	
1591.00	Office Equipment	
	Office Trailer	1,000
1701.00	Layout	
	<i>Layout</i>	
1705.00	Clean Up	
	Current Cleanup	7,820
	Final Cleanup	2,000
	Rent Dumpster	1,600
1730.00	Tools & Equipment	
	Tools & Equipment	2,000
	Rough Hardware	2,500
1750.00	Misc. -- General Cond.	
	<i>Submittal Exchange - Paid by Others</i>	
1950.00	Crane	
	Service Crane	7,000
SITEWORK		
2200.00	Earthwork	
	Earthwork (DIV 31)	24,000
	<i>Site Clearing (Sec 311000)</i>	0
	<i>Grading (Sec 312200)</i>	0
	<i>Excavation (Sec 312316)</i>	0
	<i>Trenching (Sec 312316)</i>	0
	<i>Fill (Sec 312323)</i>	0
2260.01	Soil Stablze: ErosionCtrl	
	Siltation Fence	800
	<i>Storm Water Prevention Plan</i>	
2375.00	Drilled Concrete Piers	
	<i>DEEP FOUNDATIONS NOT INCLUDED</i>	
2510.01	Paving: Sidewalks	
	Sidewalks -- R/R as Needed for Addition ONLY	3,800
	Granular Subbase (4")	680

FILED

APR 05 2019

City Clerk
Iowa City, Iowa

Phase	Description	Total Amount
2510.01	Paving: Sidewalks	
	REMOVE COST FOR SITE IMPROVEMENTS	(4,480)
2513.00	Paving: Concrete	
	<i>Concrete Paving -- R/R as Needed for Addition</i>	
	Paving (6")	2,160
	Granular Subbase (6")	320
	REMOVE COST FOR SITE IMPROVEMENTS	(2,480)
2600.00	Site Utilities	
	<i>Utilities (DIV 33)</i>	
	<i>Site Water (Sec 331116) -- Tap Existing</i>	
	<i>Site Sanitary (Sec 333111) -- Tap Existing</i>	
2900.01	Landscape: General	
	Landscaping Allowance	5,000
	REMOVE COST FOR SITE IMPROVEMENTS	(5,000)
	CONCRETE	
3111.00	Forms: Footings	
	Footing Forms	3,513
3114.00	Forms: Walls	
	Wall Forms - Patent System	15,381
3200.00	Rebar Installation	
	Rebar Installation	3,600
3219.00	Rebar: All Types	
	Rebar - Lump Sum (tons)	4,000
3231.00	Rebar: Wiremesh Lump Sum	
	WWM Sheets 6x6 6/6	648
	Wiremesh 6x6 6/6	648
3306.00	Conc: Footings	
	Footing Conc 4000 psi	5,688
3307.00	Conc: Walls	
	Wall Conc 4000 psi	7,110
3310.01	Conc: Slabs On Grade	
	S.O.G. Conc 4000 psi	5,727
3325.00	Conc: Topping	
	Topping Conc 4000 psi	2,304
3375.00	Finish: Protect & Cure	
	CS 309 Curing Compound	113
	CS 309 Curing Compound	113
3380.01	Finish: General	
	Trowel Finish	816
	Topping Finish	816
3400.40	Precast Concrete	
	Precast Hollow Core	22,646
	MASONRY	
4000.01	Division 4 Subcontractors	
	<i>Unit Masonry (Sec 42202)</i>	

FILED

APR 05 2019

C
Iowa City, Iowa

Phase	Description	Total Amount
4000.01	Division 4 Subcontractors	
	Fire Separation Wall	29,700
	Elev Shaft	7,260
	METALS	
5110.01	Structural: Framing	
	Structural Steel/Misc Steel	2,800
	WOOD & PLASTICS	
6010.00	Rough Carpentry	
	Rough Carpentry	4,500
	Framing -- Lumber Package (Extensive Roof Truss Work)	30,000
	Framing -- Installation	20,000
6400.00	Architectural Woodwork	
	Finish Carpentry (Sec 62000)	3,020
	THERMAL & MOISTURE PROT	
7111.00	Waterproofing: Sheet	
	Sheet Waterproofing (Sec 71300)	2,970
	<i>Foundation Waterproofing</i>	
	<i>Foundation Drainage Panel</i>	
7192.00	Dampproofing: VapBarrier	
	Vapor Barrier -- 15 mil	476
7210.00	Building Insulation	
	Building Insulation	2,200
7212.00	Insulation: Board	
	Foundation Insulation	1,620
7312.00	Shingles: Fiberglas	
	Fiberglas Roof Shingles	16,192
	ADD NEW ROOFING TO EXISTING	10,000
7420.01	Cladding: Siding	
	Vinyl Siding	11,000
	ADD NEW VINYL SIDING TO EXISTING BUILDING	7,500
7620.01	Sheetmetal: Flashing	
	Sheet Metal Flashing (Sec 76200)	2,400
	DOORS & WINDOWS	
8110.01	Doors: Steel with Frames	
	Mtl Frame/Wd Door/FH	18,850
	USE PREHUNG WOOD DOORS - SIM TO EXISTING	(6,000)
8610.01	Windows: Wood	
	Vinyl Windows	4,110
8811.00	Glass: All Types	
	Alum Entry Doors	5,000
	FINISHES	
9260.01	GWB: Wall Board Systems	

FILED

APR 05 2019

City Clerk
Iowa City, Iowa

Phase	Description	Total Amount
9260.01	GWB: Wall Board Systems	
	Gypsum Wallboard (Sec 92116)	21,800
9310.01	Ceramic Tile	
	Tiling (Sec 93000) -- NONE INCLUDED	
9510.01	Ceiling: Suspended	
	ADD ACOUSTICAL CEILING @ LOWER LEVEL	6,500
9685.00	Flooring Carpet	
	Resilient Flooring (Sec 96500)	15,400
	Carpet Tile (Sec 96813)	
9920.01	Painting: Interior	
	Paint Interior (Sec 99000)	13,625
	PAINTING BY OWNER	(13,625)
	SPECIALTIES	
10160.01	Toilet Partition Metal	
	Toilet Partitions (Sec 102113)	5,440
	Toilet Accessories (Sec 102800)	1,560
10430.01	Signs	
	Signage (Sec 101400)	2,500
	REMOVE SIGNAGE -- NONE REQUIRED	(2,500)
10523.00	Fire Extinguishers	
	Fire Extinguishers (Sec 104400)	360
	CONVEYING SYSTEMS	
14001.00	Elevators	
	Elevators (Sec 142010)	70,000
	MECHANICAL	
15100.00	Mechanical Complete	
	Mechanical Complete (DIV 22/23)	65,000
	SIMPLIFIED HVAC SYSTEM - FURNACE	(10,000)
15300.00	Sprinkler	
	Fire Sprinkler (DIV 21) -- NONE INCLUDED	
	?????	
	ELECTRICAL	
16001.00	Electrical Complete	
	Electrical (DIV 26)	36,400

FILED

APR 05 2019

City Clerk
Iowa City, Iowa

Estimate Totals

Description	Amount	Totals	Rate
Labor	154,947		
Material	131,985		
Subcontract	240,570		
Equipment			
Other			
	527,502	527,502	
Insurance	1,055		2.000 \$, 1,000
Performance/Payment Bond	5,489		
ELIM PERF/PAYMENT BOND	(5,489)		
Building Permit, etc.	5,200		
Sales Tax	9,379		
ELIM SALES TAX -- TAX EXEMPT	(9,379)		
Fee	26,688		5.000 %
Total		560,445	

FILED

APR 05 2019

City Clerk
Iowa City, Iowa



MMS Consultants, Inc.

Experts in Planning and Development Since 1975

1917 S. Gilbert Street
Iowa City, Iowa 52240

319.351.8282

mmsconsultants.net
mms@mmsconsultants.net

March 22, 2019

FAITH BAPTIST CHURCH OPTION 1 SITE IMPROVEMENTS COST ESTIMATE

	UNITS	QUANTITY	UNIT PRICE	EXTENDED AMOUNT
SITE GRADING INCLUDING EXPORT	LS	1	\$3,000.00	\$3,000.00
18" dia ADS N-12 STORM SEWER	LF	0	\$35.00	\$0.00
15" dia ADS N-12 STORM SEWER	LF	197	\$31.00	\$6,107.00
6" dia ADS N-12 STORM SEWER	LF	150	\$25.00	\$3,750.00
STORM INTAKE	EA	2	\$3,500.00	\$7,000.00
STORM MANHOLE	EA	2	\$2,500.00	\$5,000.00
18" FLARED END SECTION	EA	0	\$1,200.00	\$0.00
15" FLARED END SECTION	EA	3	\$1,100.00	\$3,300.00
CONNECTION TO EXISTING INT'K	EA	1	\$500.00	\$500.00
6" THICK CONCRETE PAVING	SF	4,685	\$4.50	\$21,082.50
PERMEABLE PAVERS	SF	0	\$12.00	\$0.00
4" THICK CONCRETE SIDEWALK	SF	621	\$4.25	\$2,639.25
TREES				
COMMON HACKBERRY	EA	0	\$360.00	\$0.00
THORNLESS COCKSPUR HAWTHORN	EA	0	\$360.00	\$0.00
RED OAK	EA	0	\$450.00	\$0.00
SHRUBS				
CHICAGOLAND GREEN BOXWOOD	EA	0	\$58.00	\$0.00
RUDY HAAG BURNING BUSH	EA	6	\$58.00	\$348.00
SNOWMOUND SPIREA	EA	0	\$48.00	\$0.00
GRASS SEEDING	SF	12600	\$0.25	\$3,150.00
TOTAL				\$55,876.75

FILED

APR 05 2019

City Clerk
Iowa City, Iowa

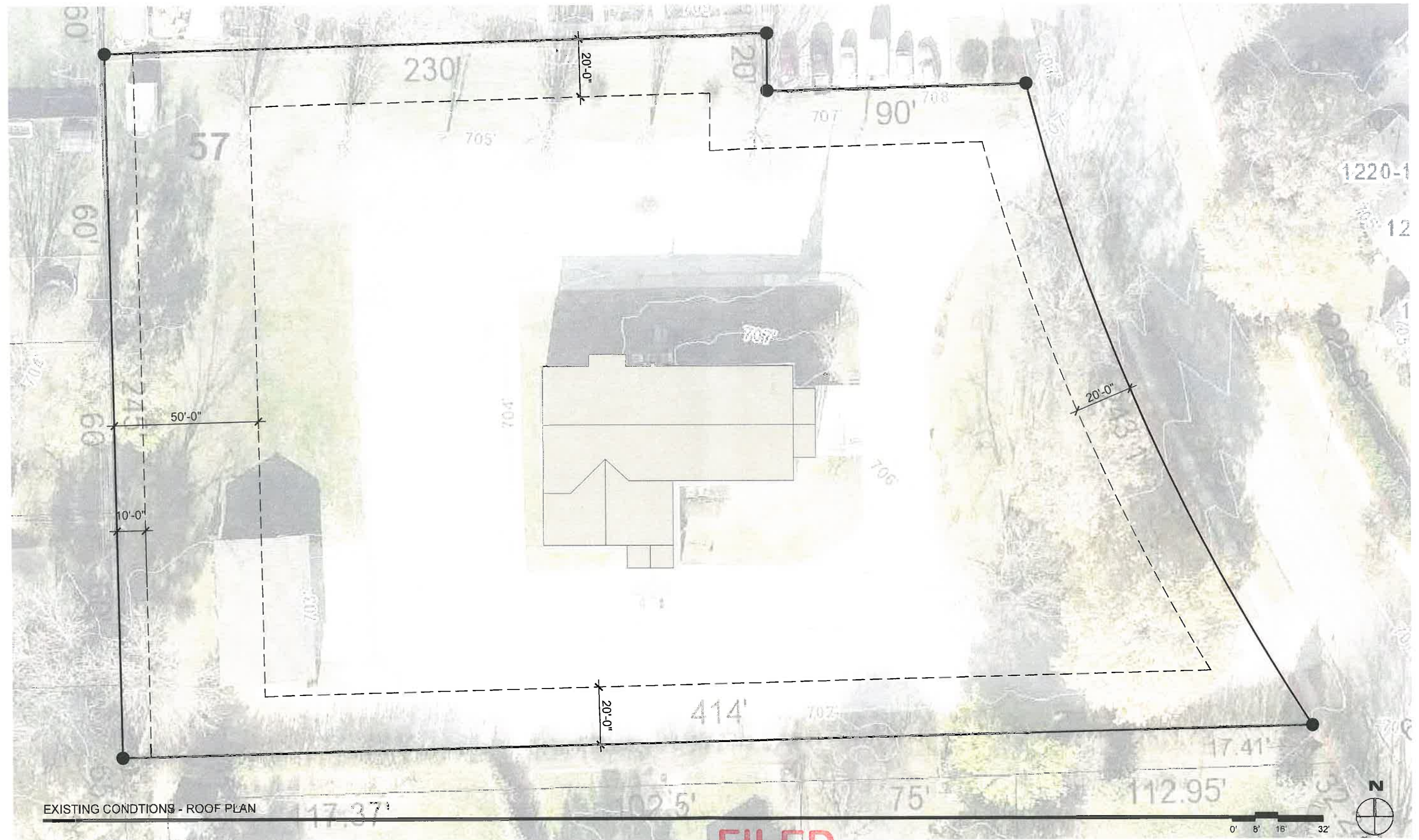
Environmental Specialists

Landscape Architects

Land Planners

Land Surveyors

Civil Engineers



Faith Baptist Church - Proposed Addition Iowa City, Iowa

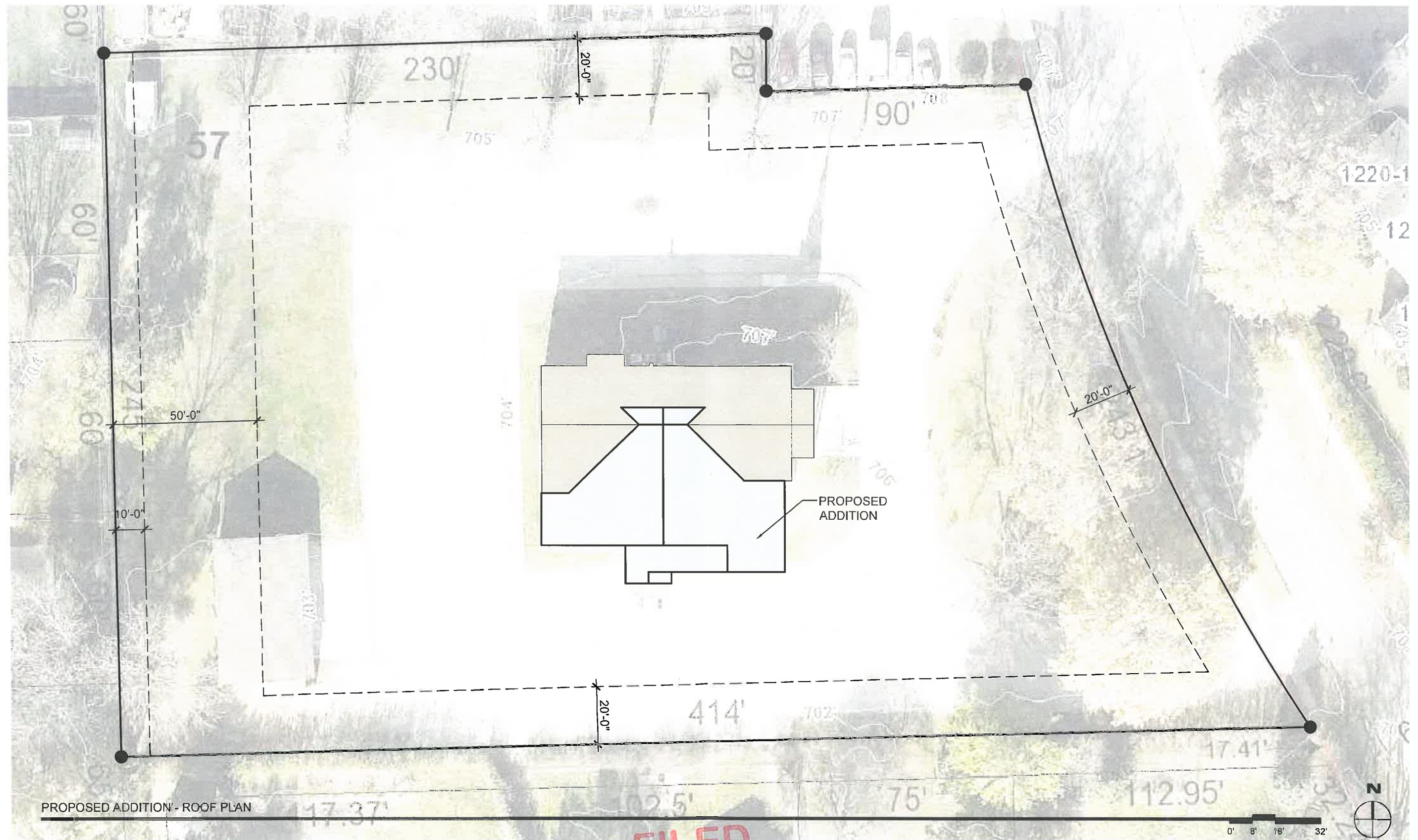
FILED

APR 05 2019

City Clerk
Iowa City, Iowa

December 28, 2018





FILED

APR 05 2019

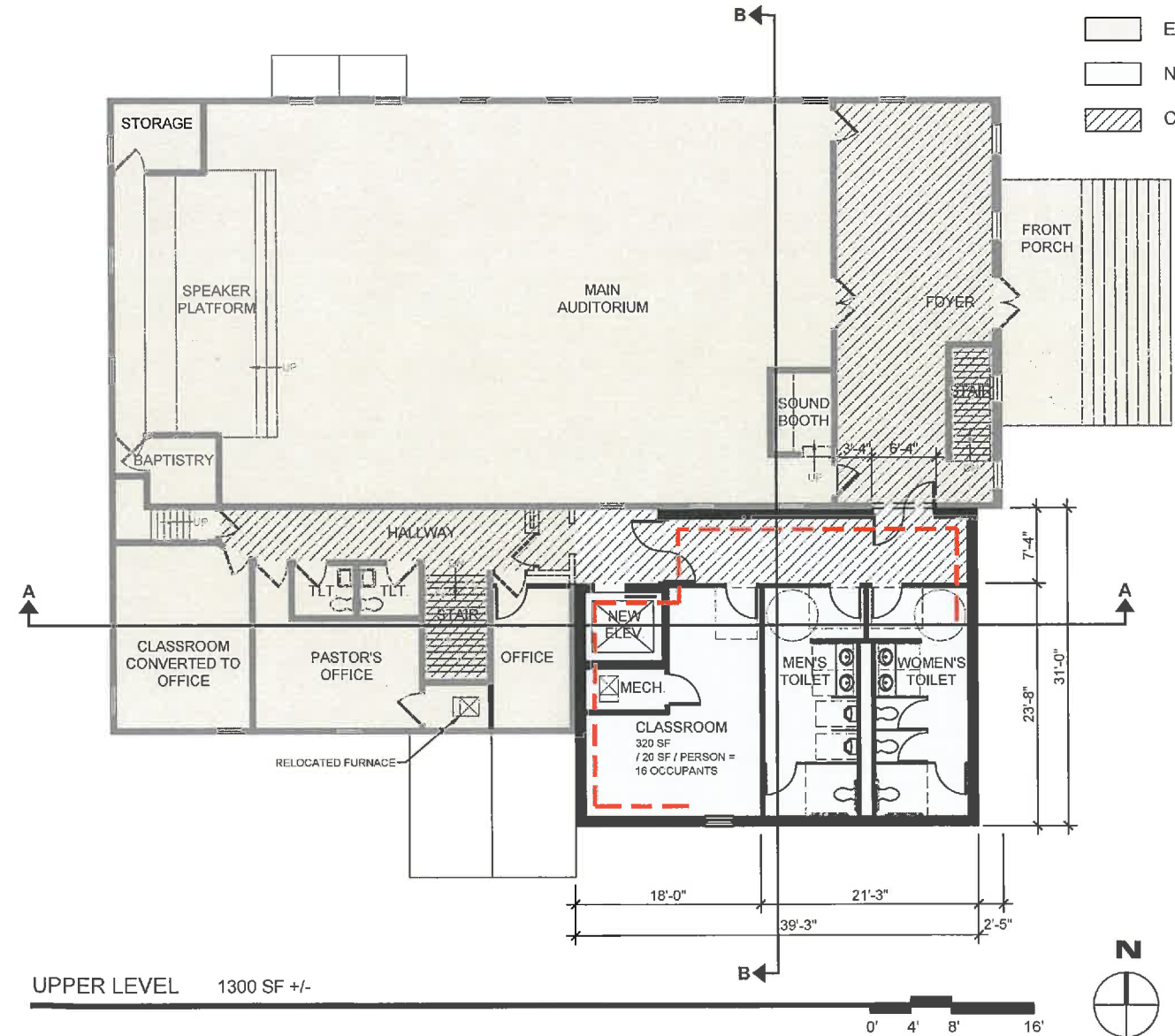
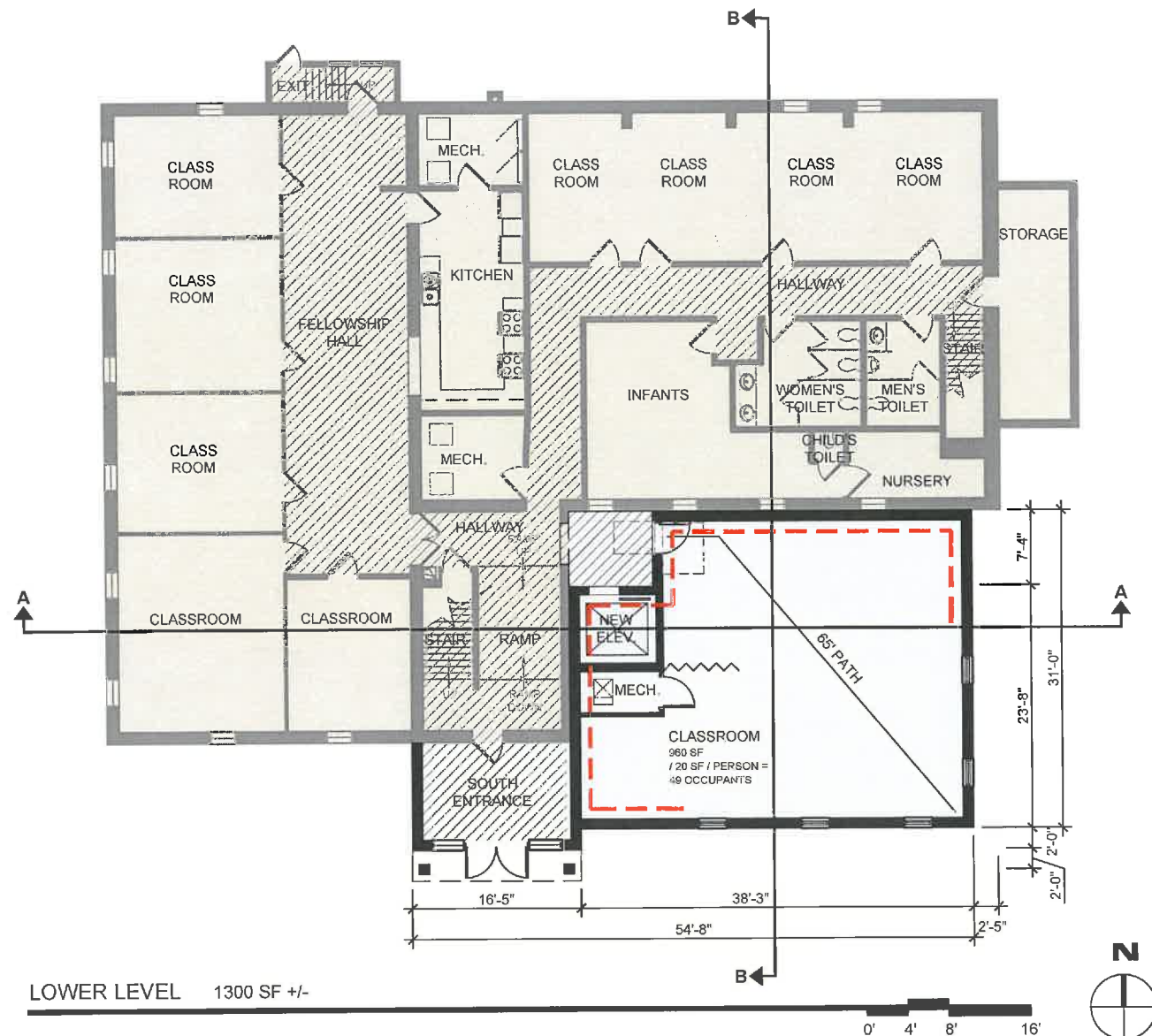
City Clerk
Iowa City, Iowa

Faith Baptist Church - Proposed Addition
Iowa City, Iowa

December 28, 2018

SOLUM LANG
architects, llc

- LEGEND**
- New Wall
 - New Movable Wall with Door Opening
 - Existing Wall
 - Existing Wall - Demo
 - 2-Hour Fire Wall
 - New Door
 - Existing Door
 - Existing Door - Demo
 - Existing Building
 - New Addition
 - Circulation Path



Faith Baptist Church - Proposed Addition
Iowa City, Iowa

FILED

APR 05 2019

City Clerk
Iowa City, Iowa

December 28, 2018





EXISTING

- LEGEND**
- Existing Siding
 - New Siding
 - Existing Shingles
 - New Shingles



PROPOSED

FILED

APR 05 2019

City Clerk
Iowa City, Iowa




Faith Baptist Church - Proposed Addition
Iowa City, Iowa

December 28, 2018

SOLUM LANG
architects, llc



EXISTING

- LEGEND**
-  Existing Siding
 -  New Siding
 -  Existing Shingles
 -  New Shingles



PROPOSED

Faith Baptist Church - Proposed Addition Iowa City, Iowa

FILED

APR 05 2019

City Clerk

December 28, 2018





EXISTING

LEGEND

- Existing Siding
- New Siding
- Existing Shingles
- New Shingles

FILED

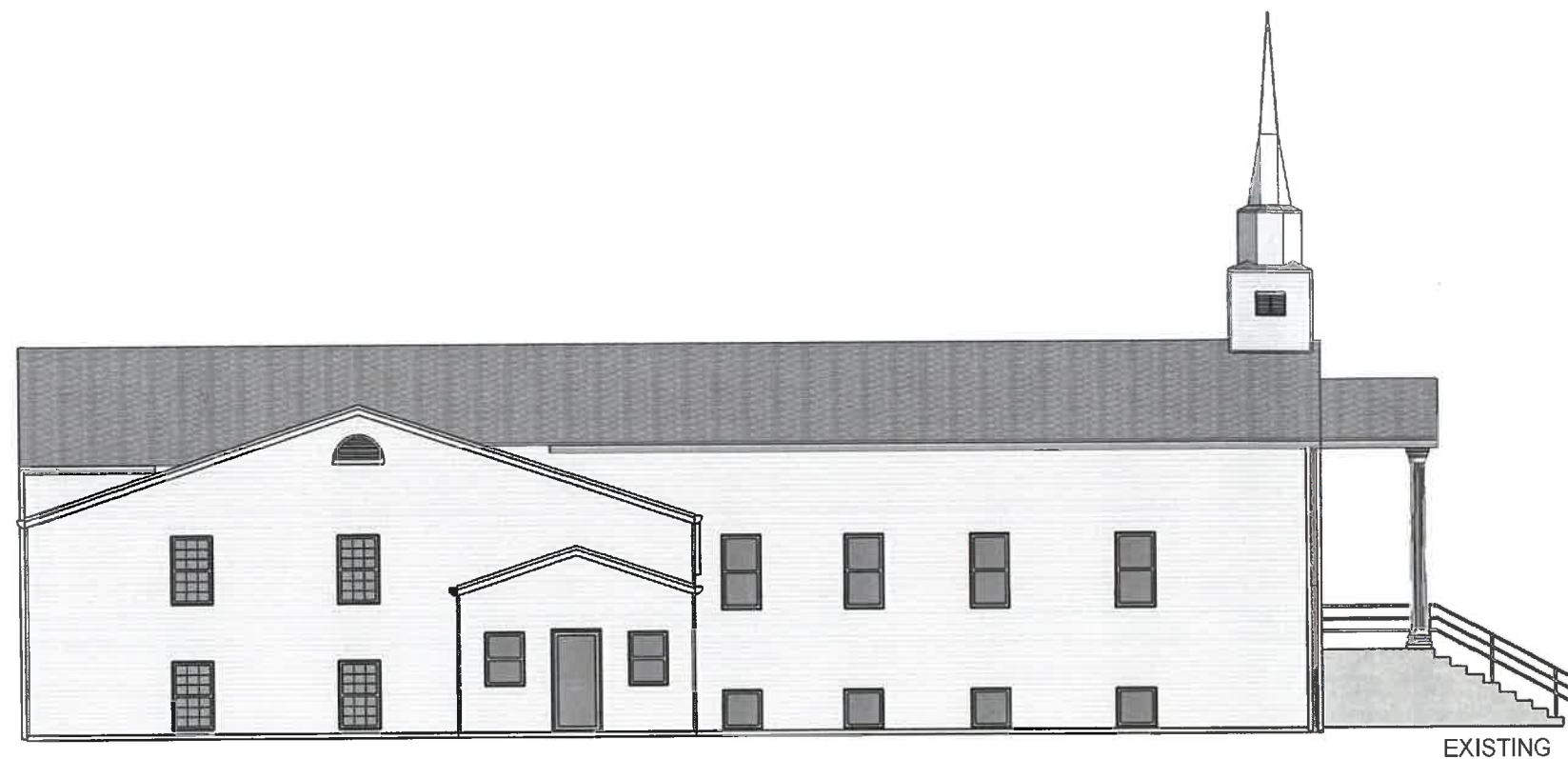
APR 05 2019

City Clerk
Iowa City, Iowa

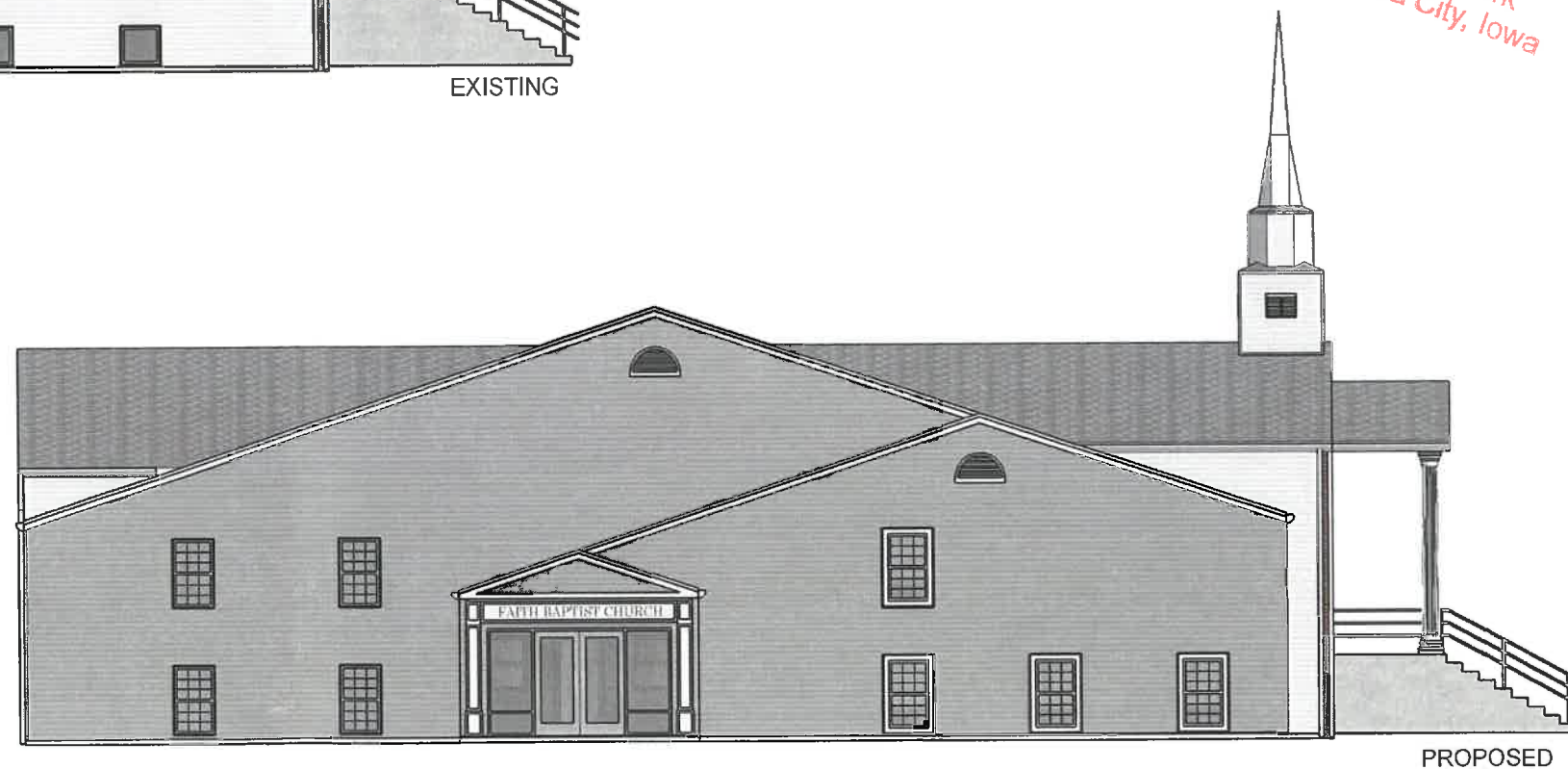


PROPOSED

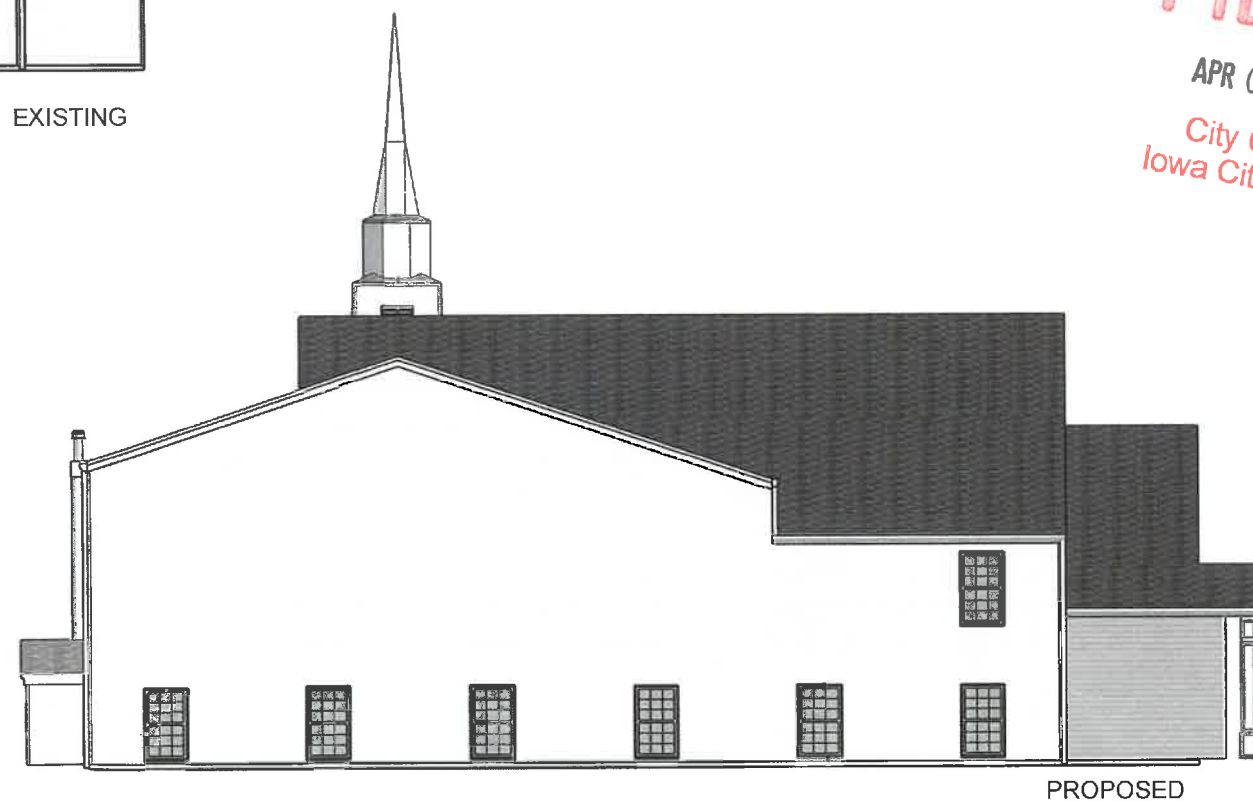
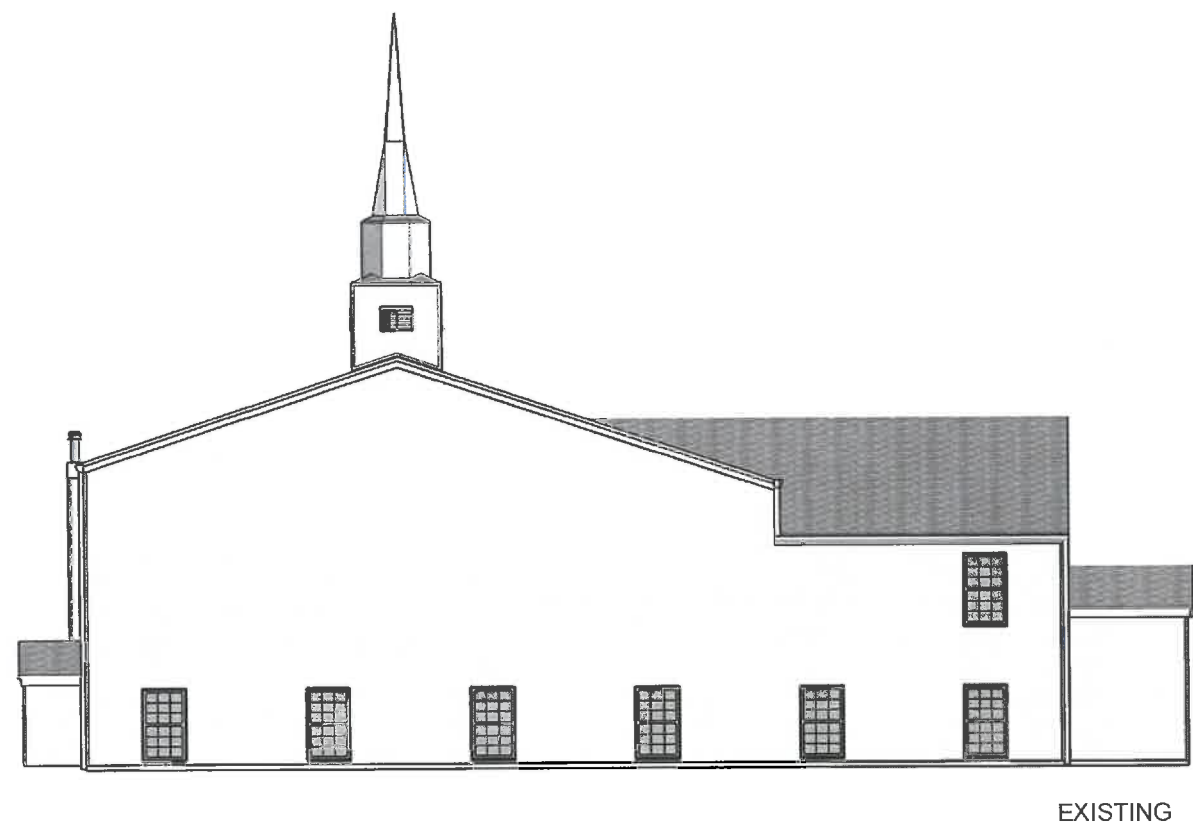
- LEGEND**
- Existing Siding
 - New Siding
 - Existing Shingles
 - New Shingles



FILED
 APR 05 2019
 City Clerk
 Iowa City, Iowa



- LEGEND**
- Existing Siding
 - New Siding
 - Existing Shingles
 - New Shingles



FILED
 APR 05 2019
 City Clerk
 Iowa City, Iowa

LEGAL DESCRIPTION:

LOT 57, VILLAGE GREEN ADDITION PART TWO,
ACCORDING TO THE RECORDED PLAT THERE OF, SAID
PARCEL CONTAINS 1.97 ACRES, AND IS SUBJECT TO
EASEMENTS AND RESTRICTIONS OF RECORD.

LOT CHARACTERISTIC:

LOT AREA	85,855 SF	(100.0%)
BUILDING AREA	1,241 SF	(1.45%)
EXISTING BUILDING AREA	6,313 SF	(7.4%)
PAVING AREA	4,685 SF	(5.5%)
EXISTING PAVING AREA	35,322 SF	(41.1%)
SIDEWALK	695 SF	(0.8%)
GREEN SPACE AREA	37,598 SF	(43.8%)
IMPERVIOUS AREA	48,257 SF	(56.2%)

BUILDING CHARACTERISTIC:

EXISTING BUILDING: 2 STORY CHURCH BUILDING
EXISTING FOOTPRINT = 4,693 SF

PROPOSED ADDITION: 2 STORY
ADDITION FOOTPRINT = 1,241 SF

MATERIALS:
THE BUILDING DESIGNS AND MATERIALS SHALL BE CONSISTENT
WITH THE SUBMITTED ELEVATION DRAWINGS.

THE PROPOSED BUILDING HEIGHT IS 22.13' FEET.

ZONING & LAND USE:
CURRENT AND PROPOSED ZONING: OPD-8

PARKING NOTES:

PARKING REQUIREMENTS

RELIGIOUS GROUP ASSEMBLY
1 SPACE PER 6 OCCUPANTS IN THE MAIN AUDITORIUM
CAPACITY OF ASSEMBLY ROOM = 292 PERSONS
REQUIRED PARKING SPACES = 49

PARKING PROVIDED	REGULAR	ADA	TOTAL
	SPACE	COMPLIANT	
PROPOSED PAVEMENT=	8	3	11
EXISTING GRAVEL=	56		
TOTAL PARKING PROVIDED=	64	3	67

BICYCLE PARKING REQUIREMENTS:

5% OF REQUIRED VEHICLE PARKING
MINIMUM REQUIRED PARKING = 4
PROVIDED PARKING = 4

SITE LIGHTING

ALL EXTERIOR LIGHTING SHALL BE MOUNTED TO THE BUILDING,
DOWNCAST AND SHIELDED.

KEYNOTES

NUMBER	KEYNOTE	DETAIL
1	INSTALL DRIVE PER DETAIL (THICKNESS AND MATERIALS AS NOTED). SEE DETAILS ON SHEET 7.	
2	INSTALL 6" STANDARD CURB PER DETAIL. SEE DETAIL ON SHEET 7.	
3	INSTALL P.C.C. SIDEWALK PER IOWA CITY MUNICIPAL DESIGN STANDARDS. SEE DETAILS ON SHEET 7.	
4	INSTALL THICKENED EDGE SIDEWALK PER DETAIL. SEE DETAIL ON SHEET 7.	
5	INSTALL ACCESSIBLE CURB RAMP PER DETAIL. SEE DETAIL ON SHEET 7.	
6	INSTALL ACCESSIBLE SIGN PER DETAIL. SEE DETAIL ON SHEET 7.	
7	INSTALL ACCESSIBLE PARKING SYMBOL. SEE DETAIL ON SHEET 7.	
8	INSTALL 4" WIDE PAINTED PARKING STRIPING	
9	INSTALL BIKE RACK	

UTILITIES

THE CONTRACTOR SHALL NOTIFY IOWA
ONE CALL NO LESS THAN 48 HRS. IN
ADVANCE OF ANY DIGGING OR EXCAVATION.

WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR
ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF
THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE
BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO
THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND
FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE
SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED
APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS. THE EXISTENCE OF
WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S
RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION AND TO AVOID
DAMAGE THERE TO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO
THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK.

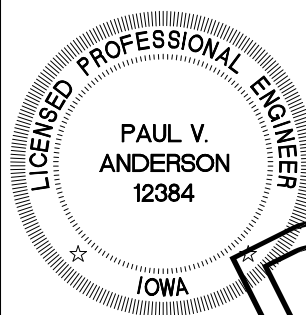


I hereby certify that this engineering document was prepared by
me or under my direct supervision and that I am a duly licensed
Professional Engineer under the laws of the State of Iowa.

PAUL V. ANDERSON, P.E. Iowa Lic. No. 12384

My license expires on December 31, 20__.

These sheets covered by this seal:



SEAL

MAJOR SITE PLAN FAITH BAPTIST CHURCH 1251 VILLAGE ROAD IOWA CITY, IOWA

PLAT PREPARED BY:
MMS CONSULTANTS INC.
1917 S. GILBERT STREET
IOWA CITY, IA 52240

OWNER/APPLICANT:
FAITH BAPTIST CHURCH
1251 VILLAGE ROAD
IOWA CITY, IA 52240

PAVING CONSTRUCTION NOTES

- I.D.O.T. CLASS C-3 CONCRETE SHALL BE USED, UNLESS NOTED OTHERWISE.
- CITY OF IOWA CITY DESIGN AND CONSTRUCTION STANDARDS AND PROCEDURES SHALL PREVAIL.
- PAVEMENT JOINTS SHALL CONFORM TO I.D.O.T. STANDARD ROAD PLANS PV-101, CURRENT REVISION.
- THE CONCRETE AGGREGATE SHALL BE CLASS 3; DURABILITY AS SPECIFIED IN SECTION 4115.01C OF THE I.D.O.T. STANDARD SPECIFICATIONS.
- ALL SAWED JOINTS SHALL BE SEALED.

SHEET INDEX

- 1 SITE LAYOUT & DIMENSION PLAN
- 2 DEMOLITION PLAN
- 3 GRADING PLAN
- 4 EROSION CONTROL PLAN
- 5 UTILITY PLAN
- 6 LANDSCAPE PLAN
- 7 GENERAL NOTES & DETAILS

THE CONTRACTOR SHALL PROVIDE TRAFFIC
CONTROL PER IDOT STANDARD ROAD PLAN TC-202
AND CITY OF IOWA CITY REQUIREMENTS AT ALL
TIMES DURING WORK WITHIN PUBLIC R.O.W.

THE CONTRACTOR SHALL COORDINATE WITH
UTILITY PROVIDERS FOR ANY REQUIRED
RELOCATION OF EXISTING UTILITIES.

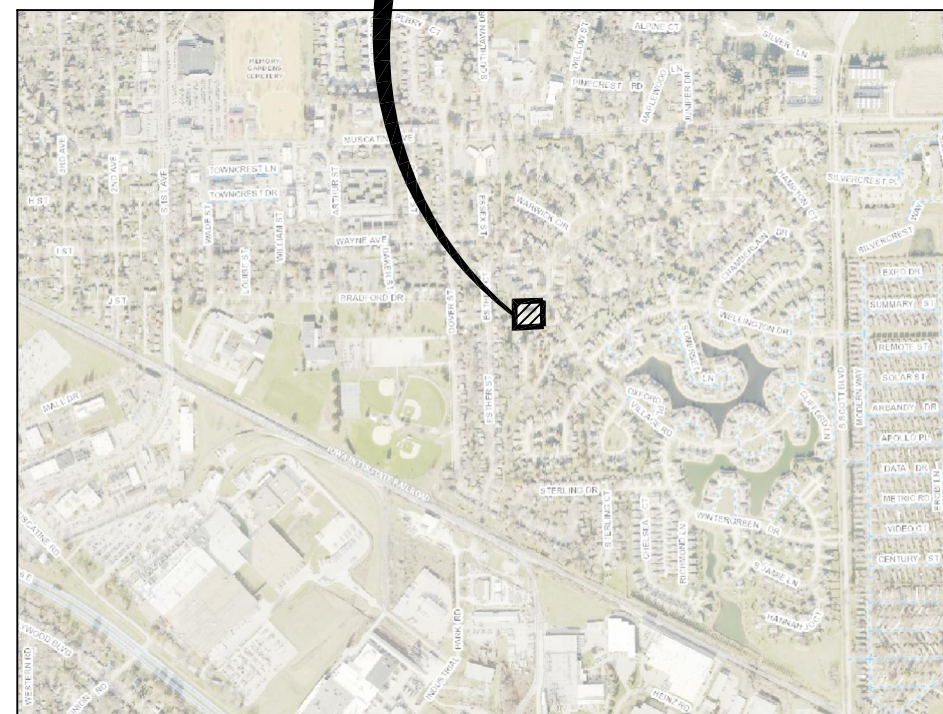
SUPPLEMENTAL LEGEND AND
NOTES

---	F	---	F	---	PROPOSED FIBER OPTIC LINES
---	E	---	E	---	PROPOSED ELECTRIC
---	T	---	T	---	PROPOSED TELEPHONE
---	F-O	---	F-O	---	EXISTING FIBER OPTIC LINES
---	T	---	T	---	EXISTING TELEPHONE
---	OHE	---	OHE	---	EXISTING OVERHEAD ELECTRIC
---	G	---	G	---	EXISTING GAS

STANDARD LEGEND AND NOTES

---	---	---	---	---	PROPERTY &/or BOUNDARY LINES
---	---	---	---	---	CONGRESSIONAL SECTION LINES
---	---	---	---	---	RIGHT-OF-WAY LINES
---	---	---	---	---	EXISTING RIGHT-OF-WAY LINES
---	---	---	---	---	CENTER LINES
---	---	---	---	---	EXISTING CENTER LINES
---	---	---	---	---	LOT LINES, INTERNAL
---	---	---	---	---	LOT LINES, PLATTED OR BY DEED
---	---	---	---	---	PROPOSED EASEMENT LINES
---	---	---	---	---	EXISTING EASEMENT LINES
---	---	---	---	---	BENCHMARK
---	---	---	---	---	RECORDED DIMENSIONS
---	---	---	---	---	CURVE SEGMENT NUMBER
---	---	---	---	---	22-1
---	---	---	---	---	EXIST
---	---	---	---	---	PROP
---	---	---	---	---	POWER POLE
---	---	---	---	---	POWER POLE W/DROP
---	---	---	---	---	POWER POLE W/TRANS
---	---	---	---	---	POWER POLE W/LIGHT
---	---	---	---	---	GUY POLE
---	---	---	---	---	LIGHT POLE
---	---	---	---	---	SANITARY MANHOLE
---	---	---	---	---	FIRE HYDRANT
---	---	---	---	---	WATER VALVE
---	---	---	---	---	DRAINAGE MANHOLE
---	---	---	---	---	CURB INLET
---	---	---	---	---	FENCE LINE
---	---	---	---	---	EXISTING SANITARY SEWER
---	---	---	---	---	PROPOSED SANITARY SEWER
---	---	---	---	---	EXISTING STORM SEWER
---	---	---	---	---	PROPOSED STORM SEWER
---	---	---	---	---	WATER LINES
---	---	---	---	---	ELECTRICAL LINES
---	---	---	---	---	TELEPHONE LINES
---	---	---	---	---	GAS LINES
---	---	---	---	---	CONTOUR LINES (1' INTERVAL)
---	---	---	---	---	PROPOSED GROUND
---	---	---	---	---	EXISTING TREE LINE
---	---	---	---	---	EXISTING DECIDUOUS TREE & SHRUB
---	---	---	---	---	EXISTING EVERGREEN TREES & SHRUBS

THE ACTUAL SIZE AND LOCATION OF ALL PROPOSED FACILITIES
SHALL BE VERIFIED WITH CONSTRUCTION DOCUMENTS, WHICH
ARE TO BE PREPARED AND SUBMITTED SUBSEQUENT TO THE
APPROVAL OF THIS DOCUMENT.

FAITH BAPTIST CHURCH
IOWA CITY, IOWA

LOCATION MAP

NOT TO SCALE

PAVEMENT LEGEND

	MATERIAL	TOTAL*
	7" PCC	2709 SF
	6" PCC	1,977 SF
	4" PCC	695 SF

*TOTALS INCLUDE ALL SF OF MATERIAL, INCLUDING OUTSIDE OF PROPERTY LINE

1.97 ACRES



CIVIL ENGINEERS
LAND PLANNERS
LAND SURVEYORS
LANDSCAPE ARCHITECTS
ENVIRONMENTAL SPECIALISTS

1917 S. GILBERT ST.
IOWA CITY, IOWA 52240
(319) 351-8282
www.mmsconsultants.net

Date: 04-16-19 Revision: PER CITY COMMENTS -KLE

SITE LAYOUT
AND DIMENSION
PLAN

FAITH BAPTIST CHURCH
1251 VILLAGE ROAD

IOWA CITY
JOHNSON COUNTY
IOWA

MMS CONSULTANTS, INC.

Date: 1/9/2019

Designed by: PVA Field Book No:

Drawn by: KLE Scale: 1"=20'

Checked by: PVA Sheet No:

Project No: IOWA CITY

10611-001 of: 7

MAJOR SITE PLAN
FAITH BAPTIST CHURCH
1251 VILLAGE ROAD
IOWA CITY, IOWA

PLAT PREPARED BY:
MMS CONSULTANTS INC.
1917 S. GILBERT STREET
IOWA CITY, IA 52240

OWNER/APPLICANT:
FAITH BAPTIST CHURCH
1251 VILLAGE ROAD
IOWA CITY, IA 52240

SHEET INDEX
1 SITE LAYOUT & DIMENSION PLAN
2 **DEMOLITION PLAN**
3 GRADING PLAN
4 EROSION CONTROL PLAN
5 UTILITY PLAN
6 LANDSCAPE PLAN
7 GENERAL NOTES & DETAILS

THE CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL PER IDOT STANDARD ROAD PLAN TC-202 AND CITY OF IOWA CITY REQUIREMENTS AT ALL TIMES DURING WORK WITHIN PUBLIC R.O.W.

THE CONTRACTOR SHALL COORDINATE WITH UTILITY PROVIDERS FOR ANY REQUIRED RELOCATION OF EXISTING UTILITIES.

SUPPLEMENTAL LEGEND AND NOTES

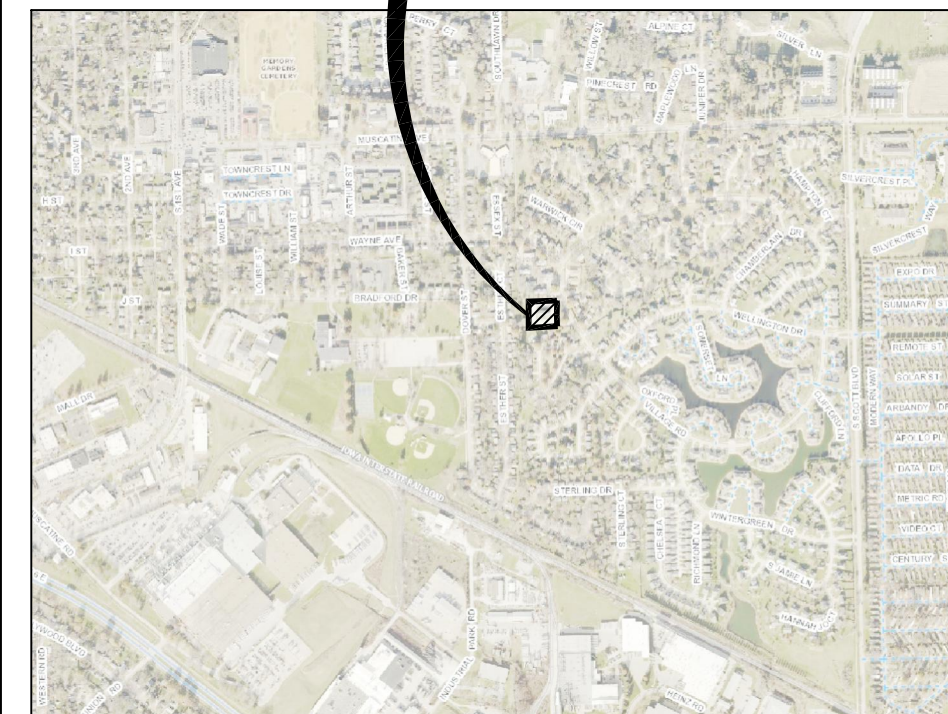
--- F --- F --- PROPOSED FIBER OPTIC LINES
--- E --- PROPOSED ELECTRIC
--- T --- PROPOSED TELEPHONE
--- F/O --- EXISTING FIBER OPTIC LINES
--- T --- EXISTING TELEPHONE
--- O/H-E --- EXISTING OVERHEAD ELECTRIC
--- G --- EXISTING GAS

STANDARD LEGEND AND NOTES

--- PROPERTY &/or BOUNDARY LINES
--- CONGRESSIONAL SECTION LINES
--- RIGHT-OF-WAY LINES
--- EXISTING RIGHT-OF-WAY LINES
--- CENTER LINES
--- EXISTING CENTER LINES
--- LOT LINES, INTERNAL
--- LOT LINES, PLATTED OR BY DEED
--- PROPOSED EASEMENT LINES
--- EXISTING EASEMENT LINES
--- BENCHMARK
--- RECORDED DIMENSIONS
--- CURVE SEGMENT NUMBER
--- EXIST-
--- PROP-
--- POWER POLE
--- POWER POLE W/DROP
--- POWER POLE W/TRANS
--- POWER POLE W/LIGHT
--- GUY POLE
--- LIGHT POLE
--- SANITARY MANHOLE
--- FIRE HYDRANT
--- WATER VALVE
--- DRAINAGE MANHOLE
--- CURB INLET
--- FENCE LINE
--- EXISTING SANITARY SEWER
--- PROPOSED SANITARY SEWER
--- EXISTING STORM SEWER
--- PROPOSED STORM SEWER
--- WATER LINES
--- ELECTRICAL LINES
--- TELEPHONE LINES
--- GAS LINES
--- CONTOUR LINES (1' INTERVAL)
--- PROPOSED GROUND
--- EXISTING TREE LINE
--- EXISTING DECIDUOUS TREE & SHRUB
--- EXISTING EVERGREEN TREES & SHRUBS

THE ACTUAL SIZE AND LOCATION OF ALL PROPOSED FACILITIES SHALL BE VERIFIED WITH CONSTRUCTION DOCUMENTS, WHICH ARE TO BE PREPARED AND SUBMITTED SUBSEQUENT TO THE APPROVAL OF THIS DOCUMENT.

FAITH BAPTIST CHURCH
IOWA CITY, IOWA



LOCATION MAP
NOT TO SCALE

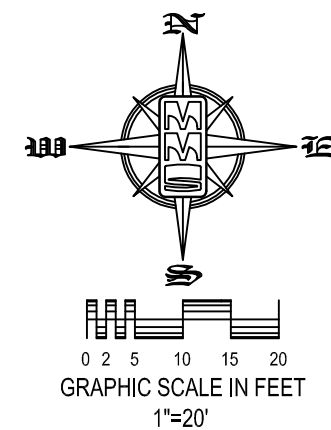
1.97 ACRES



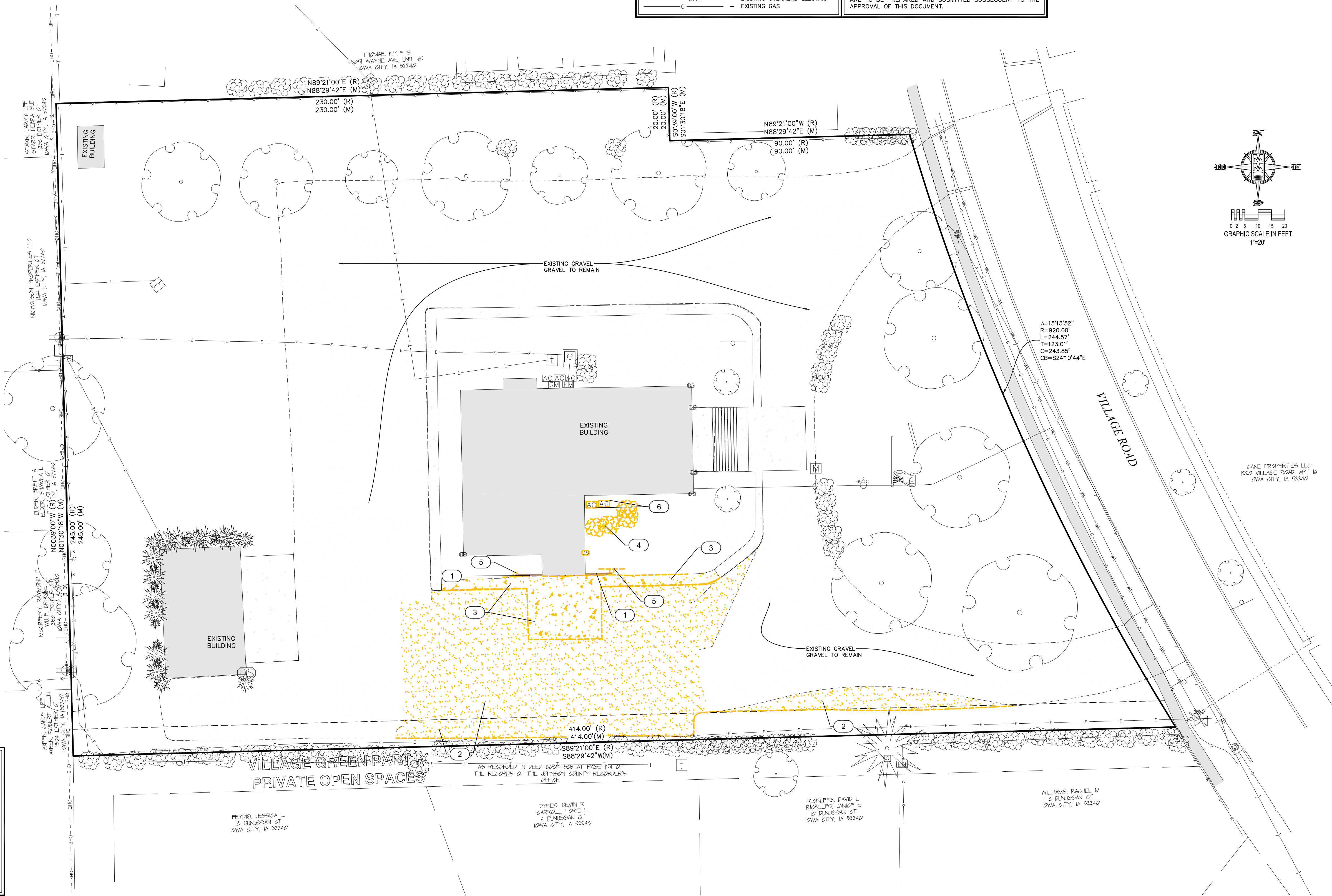
CIVIL ENGINEERS
LAND PLANNERS
LAND SURVEYORS
LANDSCAPE ARCHITECTS
ENVIRONMENTAL SPECIALISTS

1917 S. GILBERT ST.
IOWA CITY, IOWA 52240
(319) 351-8282
www.mmsconsultants.net

Date: 04-16-19 Revision: PER CITY COMMENTS -KLE



KEYNOTES		
NUMBER	KEYNOTE	DETAIL
1	REMOVE EXISTING CONCRETE WALL	
2	REMOVE EXISTING GRAVEL	
3	EXISTING SIDEWALK	
4	REMOVE EXISTING LANDSCAPING	
5	REMOVE EXISTING SIGN	
6	RELOCATED EXISTING A/C UNITS	



UTILITIES
THE CONTRACTOR SHALL NOTIFY IOWA ONE CALL NO LESS THAN 48 HRS. IN ADVANCE OF ANY DIGGING OR EXCAVATION.
WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS. THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK.



DEMOLITION PLAN

FAITH BAPTIST CHURCH
1251 VILLAGE ROAD

IOWA CITY
JOHNSON COUNTY
IOWA

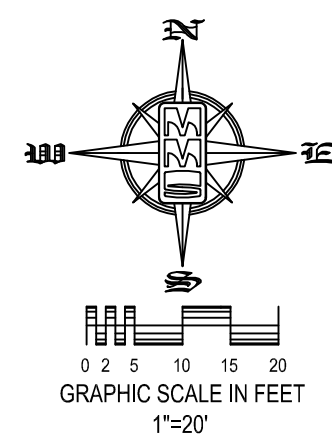
MMS CONSULTANTS, INC.

Date: 1/9/2019
Designed by: PVA Field Book No:
Drawn by: KLE Scale: 1"=20'
Checked by: PVA Sheet No:
Project No: IOWA CITY
10611-001 of: 7

MAJOR SITE PLAN
FAITH BAPTIST CHURCH
1251 VILLAGE ROAD
IOWA CITY, IOWA

PLAT PREPARED BY:
MMS CONSULTANTS INC.
1917 S. GILBERT STREET
IOWA CITY, IA 52240

OWNER/APPLICANT:
FAITH BAPTIST CHURCH
1251 VILLAGE ROAD
IOWA CITY, IA 52240



SHEET INDEX
1 SITE LAYOUT & DIMENSION PLAN
2 DEMOLITION PLAN
3 **GRADING PLAN**
4 EROSION CONTROL PLAN
5 UTILITY PLAN
6 LANDSCAPE PLAN
7 GENERAL NOTES & DETAILS



THE CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL PER IDOT STANDARD ROAD PLAN TC-202 AND CITY OF IOWA CITY REQUIREMENTS AT ALL TIMES DURING WORK WITHIN PUBLIC R.O.W.

THE CONTRACTOR SHALL COORDINATE WITH UTILITY PROVIDERS FOR ANY REQUIRED RELOCATION OF EXISTING UTILITIES.

GRADING LEGEND	
000.00EX	= EXISTING SURFACE
000.00	= TOP SLAB
000.00TW	= TOP WALK
000.00TC	= TOP CURB
000.00TR	= TOP RIM

STANDARD LEGEND AND NOTES	
	PROPERTY &/OR BOUNDARY LINES
	CONGRESSIONAL SECTION LINES
	RIGHT-OF-WAY LINES
	EXISTING RIGHT-OF-WAY LINES
	CENTER LINES
	EXISTING CENTER LINES
	LOT LINES, INTERNAL
	LOT LINES, PLATTED OR BY DEED
	PROPOSED EASEMENT LINES
	EXISTING EASEMENT LINES
	BENCHMARK
	RECORDED DIMENSIONS
	CURVE SEGMENT NUMBER
	POWER POLE
	POWER POLE W/DROP
	POWER POLE W/TRANS
	POWER POLE W/LIGHT
	CITY POLE
	LIGHT POLE
	SANITARY MANHOLE
	FIRE HYDRANT
	WATER VALVE
	DRAINAGE MANHOLE
	CURB INLET
	FENCE LINE
	EXISTING SANITARY SEWER
	PROPOSED SANITARY SEWER
	EXISTING STORM SEWER
	PROPOSED STORM SEWER
	WATER LINES
	ELECTRICAL LINES
	TELEPHONE LINES
	GAS LINES
	CONTOUR LINES (1' INTERVAL)
	PROPOSED GROUND
	EXISTING TREE LINE
	EXISTING DECIDUOUS TREE & SHRUB
	EXISTING EVERGREEN TREES & SHRUBS

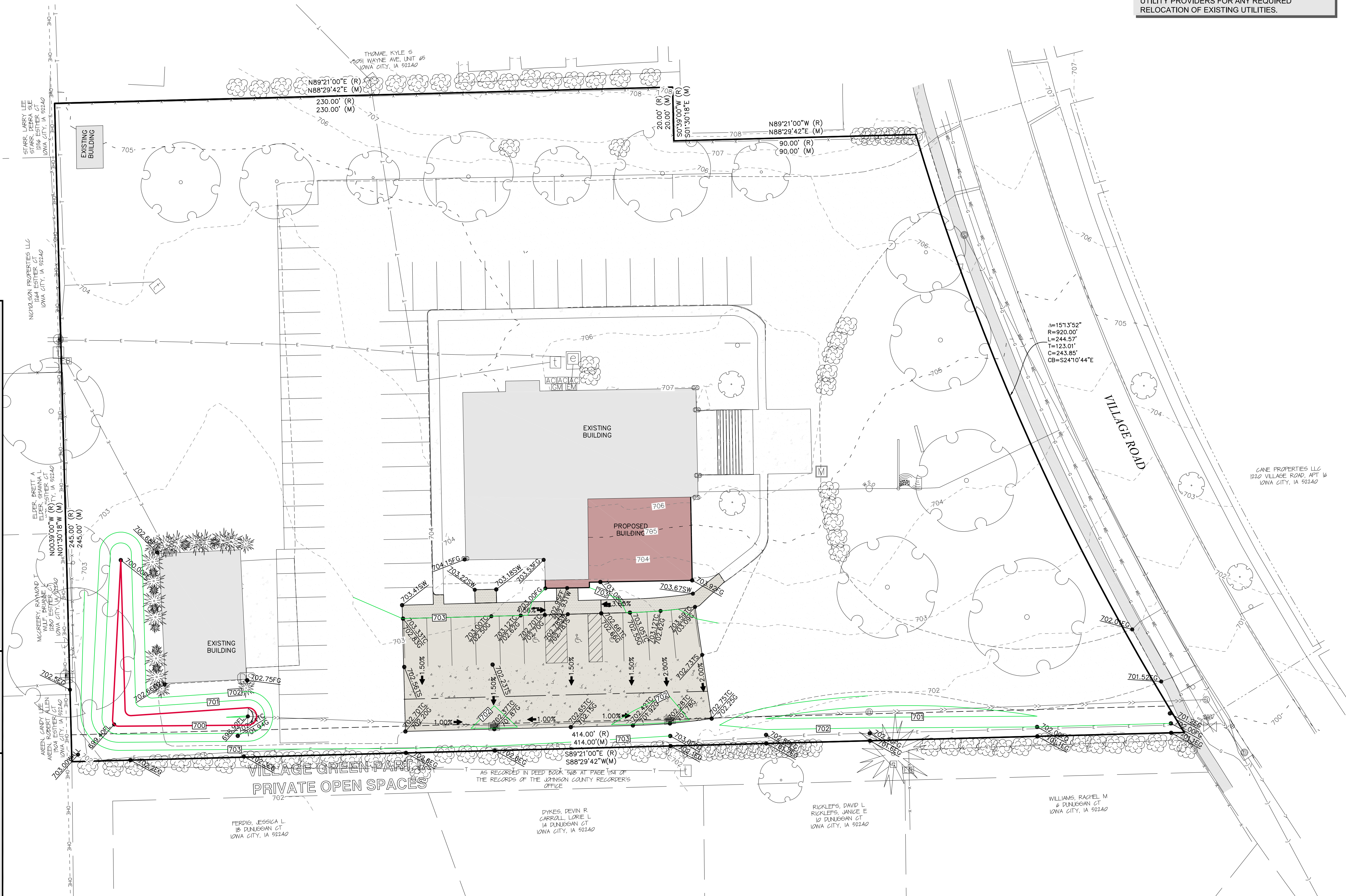
THE ACTUAL SIZE AND LOCATION OF ALL PROPOSED FACILITIES SHALL BE VERIFIED WITH CONSTRUCTION DOCUMENTS, WHICH ARE TO BE PREPARED AND SUBMITTED SUBSEQUENT TO THE APPROVAL OF THIS DOCUMENT.

SUPPLEMENTAL LEGEND AND NOTES	
	PROPOSED FIBER OPTIC LINES
	PROPOSED ELECTRIC
	PROPOSED TELEPHONE
	EXISTING FIBER OPTIC LINES
	EXISTING TELEPHONE
	EXISTING OVERHEAD ELECTRIC
	EXISTING GAS

UTILITIES
THE CONTRACTOR SHALL NOTIFY IOWA ONE CALL NO LESS THAN 48 HRS. IN ADVANCE OF ANY DIGGING OR EXCAVATION.

IOWA ONE CALL
CALL - 800-876-8888
800/292-8888

WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK.



1.97 ACRES

MMS

CIVIL ENGINEERS
LAND PLANNERS
LAND SURVEYORS
LANDSCAPE ARCHITECTS
ENVIRONMENTAL SPECIALISTS

1917 S. GILBERT ST.
IOWA CITY, IOWA 52240
(319) 351-8282
www.mmsconsultants.net

Date	Revision
04-16-19	PER CITY COMMENTS -KLE

GRADING PLAN

FAITH BAPTIST CHURCH
1251 VILLAGE ROAD
IOWA CITY
JOHNSON COUNTY
IOWA

MMS CONSULTANTS, INC.	
Date:	1/9/2019
Designed by:	PVA
Field Book No:	
Drawn by:	KLE
Scale:	1"=20'
Checked by:	PVA
Sheet No:	3
Project No:	IOWA CITY
10611-001	of 7

MAJOR SITE PLAN
FAITH BAPTIST CHURCH
1251 VILLAGE ROAD
IOWA CITY, IOWA

PLAT PREPARED BY:
MMS CONSULTANTS INC.
1917 S. GILBERT STREET
IOWA CITY, IA 52240

OWNER/APPLICANT:
FAITH BAPTIST CHURCH
1251 VILLAGE ROAD
IOWA CITY, IA 52240

EROSION CONTROL LEGEND

	SILT FENCE		PERIMETER SILT FENCE
	FILTER SOCK		EROSION CONTROL MATTING
	TEMPORARY ROCK CONSTRUCTION ENTRANCE/EXIT		TEMPORARY SOIL STOCKPILE AREA
	TEMPORARY PARKING AND STORAGE		DIRECTION OF OVERLAND FLOW
	CONCRETE TRUCK/EQUIPMENT WASHOUT		DUMPSTER FOR CONSTRUCTION WASTE
	PORTABLE RESTROOM		RIP RAP OUTLET PROTECTION
	DOCUMENT LOCATION (PERMITS, SWPPP, INSPECTION FORMS, ETC.)		OTHER MEASURE: _____
	FILTER SOCK INLET PROTECTION		OTHER MEASURE: _____
	FILTER SOCK BEHIND CURB AT CURB RAMP		OTHER MEASURE: _____

THE ABOVE LISTED ITEMS ARE SHOWN IN THEIR RECOMMENDED LOCATIONS. IF A CONTROL MEASURE IS ADDED OR MOVED TO A MORE SUITABLE LOCATION, INDICATE THE REVISION ON THIS SHEET. THE BLANKS LEFT FOR OTHER MEASURES SHOULD BE USED IF AN ITEM NOT SHOWN ABOVE IS IMPLEMENTED ON SITE. ADDITIONAL PRACTICES FOR EROSION PREVENTION AND SEDIMENT CONTROL CAN BE FOUND IN APPENDIX D OF THE SWPPP.

FAITH BAPTIST CHURCH
IOWA CITY, IOWA

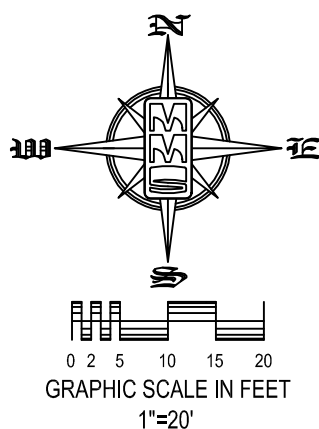


LOCATION MAP

NOT TO SCALE

THE CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL PER IDOT STANDARD ROAD PLAN TC-202 AND CITY OF IOWA CITY REQUIREMENTS AT ALL TIMES DURING WORK WITHIN PUBLIC R.O.W.

THE CONTRACTOR SHALL COORDINATE WITH UTILITY PROVIDERS FOR ANY REQUIRED RELOCATION OF EXISTING UTILITIES.



SHEET INDEX

- 1 SITE LAYOUT & DIMENSION PLAN
- 2 DEMOLITION PLAN
- 3 GRADING PLAN
- 4 **EROSION CONTROL AND SWPPP PLAN**
- 5 UTILITY PLAN
- 6 LANDSCAPE PLAN
- 7 GENERAL NOTES & DETAILS

STANDARD LEGEND AND NOTES

	PROPERTY &/OR BOUNDARY LINES
	CONGRESSIONAL SECTION LINES
	RIGHT-OF-WAY LINES
	EXISTING RIGHT-OF-WAY LINES
	CENTER LINES
	EXISTING CENTER LINES
	LOT LINES, INTERNAL
	LOT LINES, PLATTED OR BY DEED
	PROPOSED EASEMENT LINES
	EXISTING EASEMENT LINES
	BENCHMARK
	RECORDED DIMENSIONS
	CURVE SEGMENT NUMBER
	POWER POLE W/DROP
	POWER POLE W/TRANS
	POWER POLE W/LIGHT
	GUY POLE
	LIGHT POLE
	SANITARY MANHOLE
	FIRE HYDRANT
	WATER VALVE
	DRAINAGE MANHOLE
	CURB INLET
	FENCE LINE
	EXISTING SANITARY SEWER
	PROPOSED SANITARY SEWER
	EXISTING STORM SEWER
	PROPOSED STORM SEWER
	WATER LINES
	ELECTRICAL LINES
	TELEPHONE LINES
	GAS LINES
	CONTOUR LINES (1' INTERVAL)
	PROPOSED GROUND
	EXISTING TREE LINE
	EXISTING DECIDUOUS TREE & SHRUB
	EXISTING EVERGREEN TREES & SHRUBS

THE ACTUAL SIZE AND LOCATION OF ALL PROPOSED FACILITIES SHALL BE VERIFIED WITH CONSTRUCTION DOCUMENTS, WHICH ARE TO BE PREPARED AND SUBMITTED SUBSEQUENT TO THE APPROVAL OF THIS DOCUMENT.

SUPPLEMENTAL LEGEND AND NOTES

	PROPOSED FIBER OPTIC LINES
	PROPOSED ELECTRIC
	PROPOSED TELEPHONE
	EXISTING FIBER OPTIC LINES
	EXISTING TELEPHONE
	EXISTING OVERHEAD ELECTRIC
	EXISTING GAS

UTILITIES

THE CONTRACTOR SHALL NOTIFY IOWA ONE CALL NO LESS THAN 48 HRS. IN ADVANCE OF ANY DIGGING OR EXCAVATION.



WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION AND TO AVOID DAMAGE THEREON. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK.

1.97 ACRES



CIVIL ENGINEERS
LAND PLANNERS
LAND SURVEYORS
LANDSCAPE ARCHITECTS
ENVIRONMENTAL SPECIALISTS

1917 S. GILBERT ST.
IOWA CITY, IOWA 52240
(319) 351-8282
www.mmsconsultants.net

Date	Revision
04-16-19	PER CITY COMMENTS -KLE

EROSION CONTROL
AND SWPPP PLAN

FAITH BAPTIST CHURCH
1251 VILLAGE ROAD

IOWA CITY
JOHNSON COUNTY
IOWA

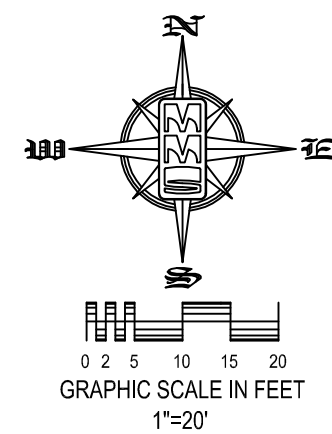
MMS CONSULTANTS, INC.

Date:	1/9/2019
Designed by:	PVA
Field Book No.:	
Drawn by:	KLE
Scale:	1"=20'
Checked by:	PVA
Sheet No.:	4
Project No.:	IOWA CITY
10611-001	of 7

MAJOR SITE PLAN
FAITH BAPTIST CHURCH
1251 VILLAGE ROAD
IOWA CITY, IOWA

PLAT PREPARED BY:
MMS CONSULTANTS INC.
1917 S. GILBERT STREET
IOWA CITY, IA 52240

OWNER/APPLICANT:
FAITH BAPTIST CHURCH
1251 VILLAGE ROAD
IOWA CITY, IA 52240



SHEET INDEX
1 SITE LAYOUT & DIMENSION PLAN
2 DEMOLITION PLAN
3 GRADING PLAN
4 EROSION CONTROL PLAN
5 UTILITY PLAN
6 LANDSCAPE PLAN
7 GENERAL NOTES & DETAILS



THE CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL PER IDOT STANDARD ROAD PLAN TC-202 AND CITY OF IOWA CITY REQUIREMENTS AT ALL TIMES DURING WORK WITHIN PUBLIC R.O.W.

THE CONTRACTOR SHALL COORDINATE WITH UTILITY PROVIDERS FOR ANY REQUIRED RELOCATION OF EXISTING UTILITIES.

1.97 ACRES

MMS

CIVIL ENGINEERS
LAND PLANNERS
LAND SURVEYORS
LANDSCAPE ARCHITECTS
ENVIRONMENTAL SPECIALISTS

1917 S. GILBERT ST.
IOWA CITY, IOWA 52240
(319) 351-8282
www.mmsconsultants.net

Date	Revision
04-16-19	PER CITY COMMENTS -KLE

STANDARD LEGEND AND NOTES

- | | |
|---------|-------------------------------|
| ---P--- | PROPERTY &/or BOUNDARY LINES |
| ---C--- | CONGRESSIONAL SECTION LINES |
| ---R--- | RIGHT-OF-WAY LINES |
| ---E--- | EXISTING RIGHT-OF-WAY LINES |
| ---L--- | CENTER LINES |
| ---I--- | EXISTING CENTER LINES |
| ---O--- | LOT LINES, INTERNAL |
| ---P--- | LOT LINES, PLATTED OR BY DEED |
| ---E--- | PROPOSED EASEMENT LINES |
| ---E--- | EXISTING EASEMENT LINES |
| ---B--- | BENCHMARK |
| ---R--- | RECORDED DIMENSIONS |
| ---C--- | CURVE SEGMENT NUMBER |
-
- | | |
|----------|-----------------------------------|
| ---EX--- | ---PROP--- |
| ---P--- | POWER POLE |
| ---P--- | POWER POLE W/DROP |
| ---P--- | POWER POLE W/TRANS |
| ---P--- | POWER POLE W/LIGHT |
| ---P--- | UTILITY POLE |
| ---P--- | LIGHT POLE |
| ---P--- | SANITARY MANHOLE |
| ---P--- | FIRE HYDRANT |
| ---P--- | WATER VALVE |
| ---P--- | DRAINAGE MANHOLE |
| ---P--- | CURB INLET |
| ---P--- | FENCE LINE |
| ---P--- | EXISTING SANITARY SEWER |
| ---P--- | PROPOSED SANITARY SEWER |
| ---P--- | EXISTING STORM SEWER |
| ---P--- | PROPOSED STORM SEWER |
| ---P--- | WATER LINES |
| ---P--- | ELECTRICAL LINES |
| ---P--- | TELEPHONE LINES |
| ---P--- | GAS LINES |
| ---P--- | CONTOUR LINES (1' INTERVAL) |
| ---P--- | PROPOSED GROUND |
| ---P--- | EXISTING TREE LINE |
| ---P--- | EXISTING DECIDUOUS TREE & SHRUB |
| ---P--- | EXISTING EVERGREEN TREES & SHRUBS |

THE ACTUAL SIZE AND LOCATION OF ALL PROPOSED FACILITIES SHALL BE VERIFIED WITH CONSTRUCTION DOCUMENTS, WHICH ARE TO BE PREPARED AND SUBMITTED SUBSEQUENT TO THE APPROVAL OF THIS DOCUMENT.

SUPPLEMENTAL LEGEND AND NOTES

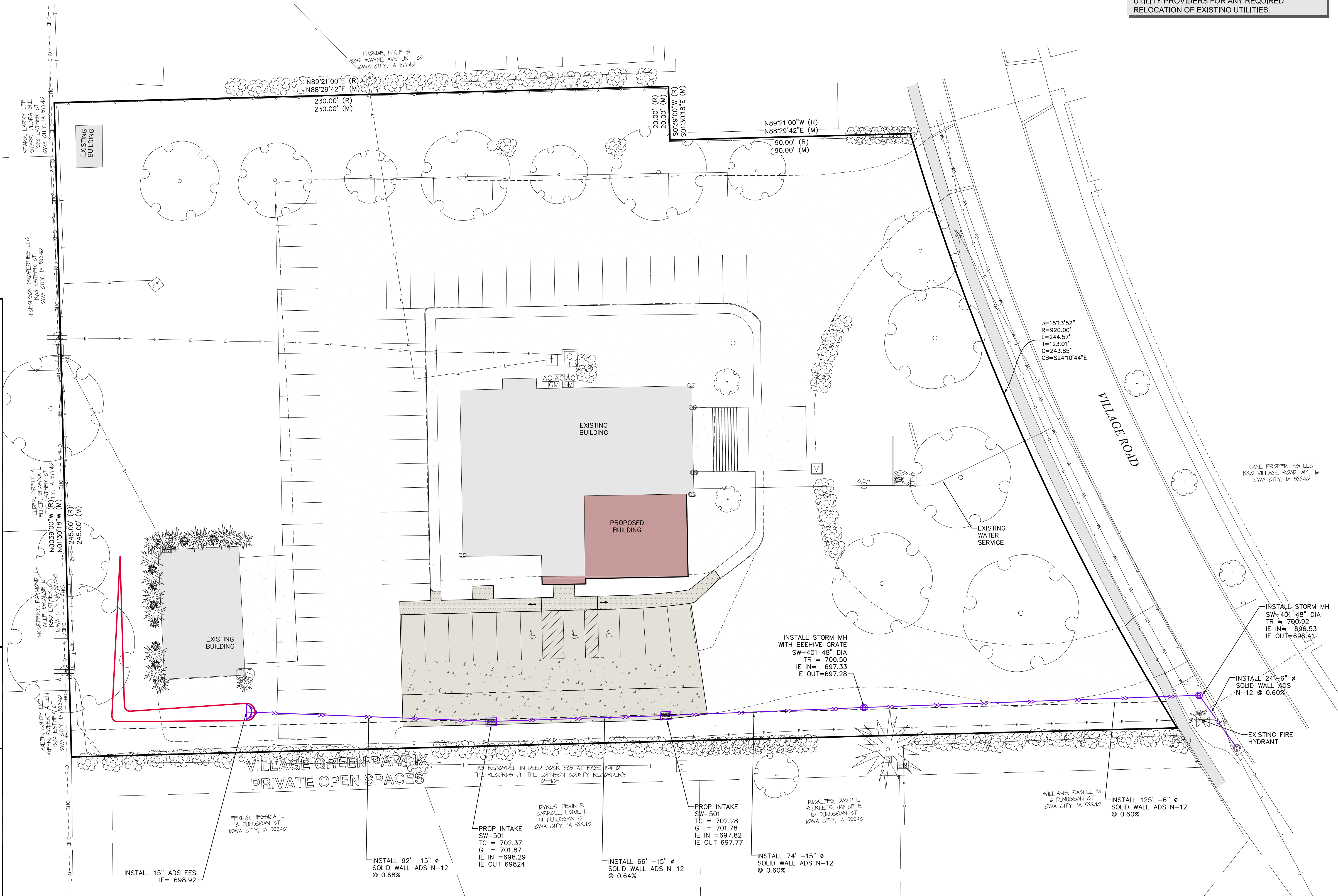
- | | |
|-----------|----------------------------|
| ---F--- | PROPOSED FIBER OPTIC LINES |
| ---E--- | PROPOSED ELECTRIC |
| ---T--- | PROPOSED TELEPHONE |
| ---FO--- | EXISTING FIBER OPTIC LINES |
| ---T--- | EXISTING TELEPHONE |
| ---OHE--- | EXISTING OVERHEAD ELECTRIC |
| ---G--- | EXISTING GAS |

UTILITIES

THE CONTRACTOR SHALL NOTIFY IOWA ONE CALL NO LESS THAN 48 HRS. IN ADVANCE OF ANY DIGGING OR EXCAVATION.

WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK.

IOWA ONE CALL
CALL - 800/292-8989
800/292-8989



UTILITY PLAN

FAITH BAPTIST CHURCH
1251 VILLAGE ROAD

IOWA CITY
JOHNSON COUNTY
IOWA

MMS CONSULTANTS, INC.

Date:	1/9/2019
Designed by:	PVA
Drawn by:	KLE
Checked by:	PVA
Project No:	IOWA CITY 10611-001
Field Book No:	
Scale:	1"=20'
Sheet No:	5
of:	7

MAJOR SITE PLAN
FAITH BAPTIST CHURCH
1251 VILLAGE ROAD
IOWA CITY, IOWA

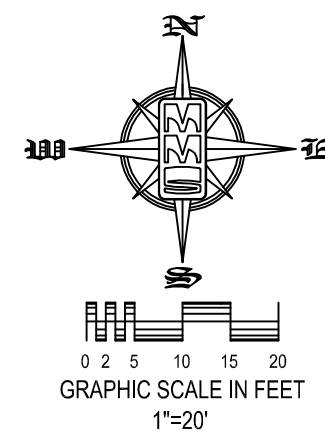
PLAT PREPARED BY:
MMS CONSULTANTS INC.
1917 S. GILBERT STREET
IOWA CITY, IA 52240

OWNER/APPLICANT:
FAITH BAPTIST CHURCH
1251 VILLAGE ROAD
IOWA CITY, IA 52240

CITY OF IOWA CITY: LANDSCAPE REQUIREMENTS

1 LARGE TREE WITHIN 60' OR 1 SMALL TREE WITHIN 40' OF EVERY PARKING SPACE.
- PROVIDED

SCREEN PARKING FROM PUBLIC VIEW AND ADJACENT RESIDENTIAL USES TO THE S-2 STANDARD.
- PROVIDED



SHEET INDEX
1 SITE LAYOUT & DIMENSION PLAN
2 DEMOLITION PLAN
3 GRADING PLAN
4 EROSION CONTROL PLAN
5 UTILITY PLAN
6 LANDSCAPE PLAN
7 GENERAL NOTES & DETAILS

FAITH BAPTIST CHURCH
IOWA CITY, IOWA



LOCATION MAP
NOT TO SCALE

THE CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL PER IDOT STANDARD ROAD PLAN TC-202 AND CITY OF IOWA CITY REQUIREMENTS AT ALL TIMES DURING WORK WITHIN PUBLIC R.O.W.

THE CONTRACTOR SHALL COORDINATE WITH UTILITY PROVIDERS FOR ANY REQUIRED RELOCATION OF EXISTING UTILITIES.

1.97 ACRES



CIVIL ENGINEERS
LAND PLANNERS
LAND SURVEYORS
LANDSCAPE ARCHITECTS
ENVIRONMENTAL SPECIALISTS

1917 S. GILBERT ST.
IOWA CITY, IOWA 52240
(319) 351-8282
www.mmsconsultants.net

Date: 04-16-19 Revision: PER CITY COMMENTS -KLE

LANDSCAPE PLAN

FAITH BAPTIST CHURCH
1251 VILLAGE ROAD

IOWA CITY
JOHNSON COUNTY
IOWA

MMS CONSULTANTS, INC.

Date: 1/9/2019
Designed by: PVA Field Book No:
Drawn by: KLE Scale: 1"=20'
Checked by: PVA Sheet No:
Project No: IOWA CITY
10611-001 of: 7

PLANT LIST - SHRUBS, PERENNIALS, ORNAMENTAL GRASSES & GROUND COVER						
QTY	KEY	BOTANICAL NAME	COMMON NAME	INSTALL SIZE	COMMENT	MATURE SIZE
22	EA	EUONYMUS ALATUS 'RUDY HAAG'	RUDY HAAG BURNING BUSH	24" HT.	CONT.	5' X 5'

STANDARD LEGEND AND NOTES

- PROPERTY &/or BOUNDARY LINES
 - CONGRESSIONAL SECTION LINES
 - RIGHT-OF-WAY LINES
 - EXISTING RIGHT-OF-WAY LINES
 - CENTER LINES
 - EXISTING CENTER LINES
 - LOT LINES, INTERNAL
 - LOT LINES, PLATTED OR BY DEED
 - PROPOSED EASEMENT LINES
 - EXISTING EASEMENT LINES
 - BENCHMARK
 - RECORDED DIMENSIONS
 - CURVE SEGMENT NUMBER
- 22-1
- EXIST- POWER POLE
 - PROP- POWER POLE W/DROP
 - POWER POLE W/TRANS
 - POWER POLE W/LIGHT
 - GUY POLE
 - LIGHT POLE
 - SANITARY MANHOLE
 - FIRE HYDRANT
 - WATER VALVE
 - DRAINAGE MANHOLE
 - CURB INLET
 - FENCE LINE
 - EXISTING SANITARY SEWER
 - PROPOSED SANITARY SEWER
 - EXISTING STORM SEWER
 - PROPOSED STORM SEWER
 - WATER LINES
 - ELECTRICAL LINES
 - TELEPHONE LINES
 - GAS LINES
 - CONTOUR LINES (1' INTERVAL)
 - PROPOSED GROUND
 - EXISTING TREE LINE
 - EXISTING DECIDUOUS TREE & SHRUB
 - EXISTING EVERGREEN TREES & SHRUBS

THE ACTUAL SIZE AND LOCATION OF ALL PROPOSED FACILITIES SHALL BE VERIFIED WITH CONSTRUCTION DOCUMENTS, WHICH ARE TO BE PREPARED AND SUBMITTED SUBSEQUENT TO THE APPROVAL OF THIS DOCUMENT.

SUPPLEMENTAL LEGEND AND NOTES

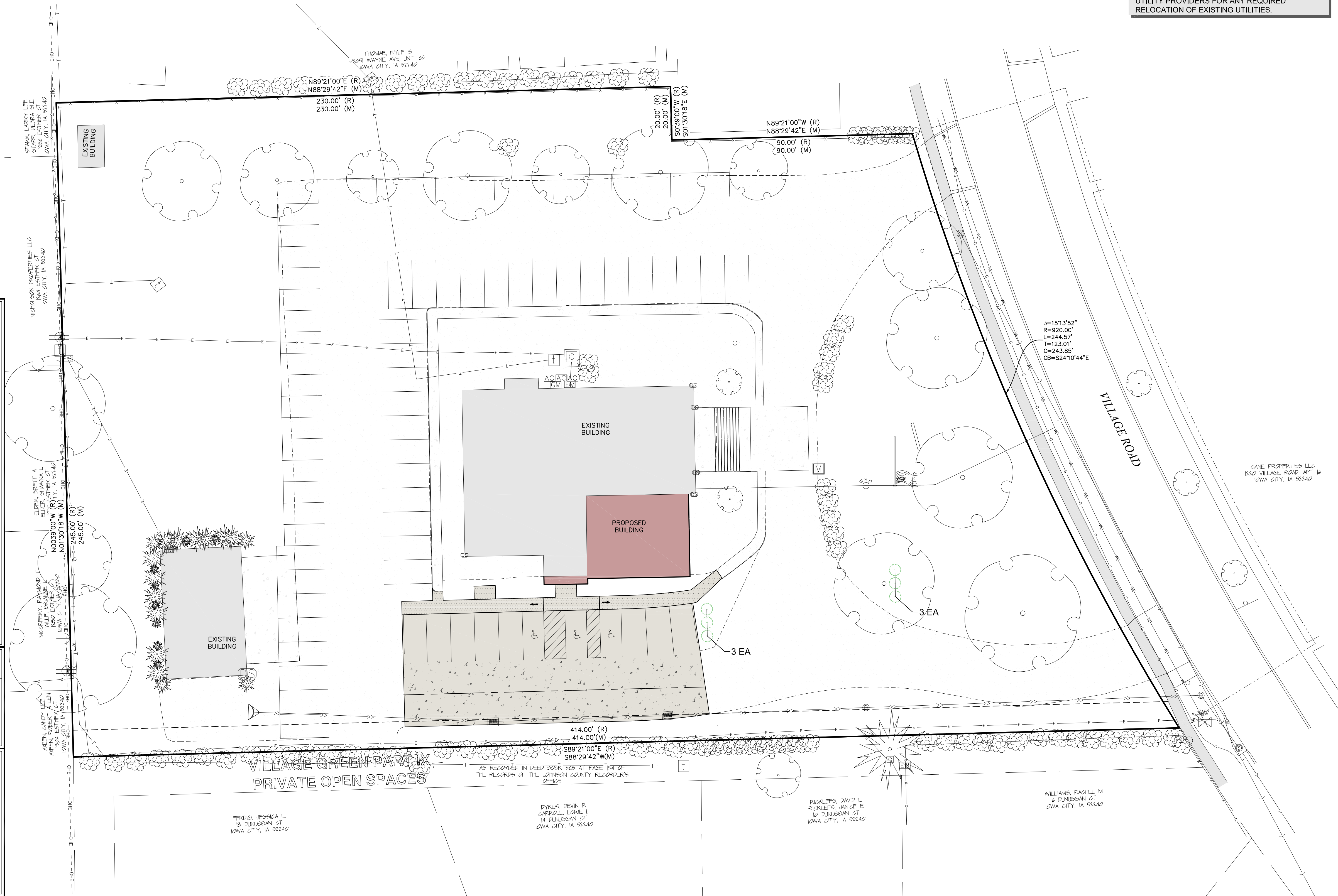
- PROPOSED FIBER OPTIC LINES
- PROPOSED ELECTRIC
- PROPOSED TELEPHONE
- EXISTING FIBER OPTIC LINES
- EXISTING TELEPHONE
- EXISTING OVERHEAD ELECTRIC
- EXISTING GAS

UTILITIES

THE CONTRACTOR SHALL NOTIFY IOWA ONE CALL NO LESS THAN 48 HRS. IN ADVANCE OF ANY DIGGING OR EXCAVATION.



WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK.





CIVIL ENGINEERS
LAND PLANNERS
LAND SURVEYORS
LANDSCAPE ARCHITECTS
ENVIRONMENTAL SPECIALISTS

1917 S. GILBERT ST.
IOWA CITY, IOWA 52240
(319) 351-8282
www.mmsconsultants.net

Date	Revision
04-16-19	PER CITY COMMENTS -KLE

STORM SEWER CONSTRUCTION NOTES

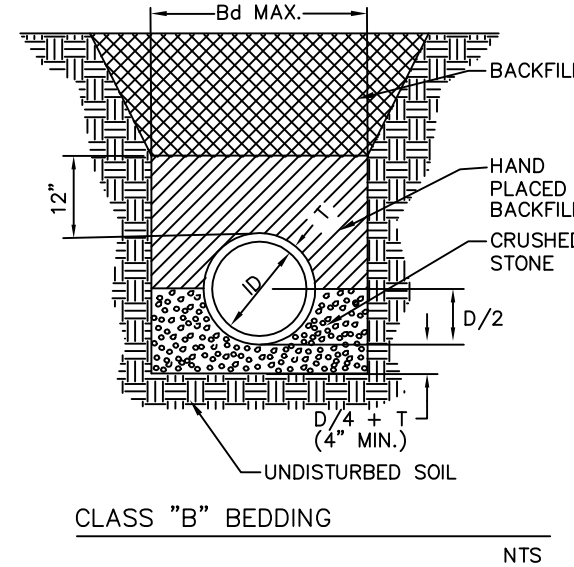
- 1) CITY OF IOWA CITY DESIGN AND CONSTRUCTION STANDARDS AND PROCEDURES SHALL PREVAIL. ALL MANHOLE AND INTAKE CASTINGS SHALL HAVE THE CITY OF IOWA CITY LOGO.
- 2) ALL STORM SEWERS SHALL BE CLASS 3 RCP UNLESS NOTED OTHERWISE IN THE PLANS.
- 3) ALL STORM SEWERS SHALL BE PROVIDED WITH CLASS "B" BEDDING, UNLESS NOTED OTHERWISE.
- 4) ALL STORM SEWER TRENCHES LOCATED UNDER AND WITHIN 5'-FEET OF PAVED SURFACES, INCLUDING STREETS, DRIVEWAYS AND SIDEWALKS (SHOWN AS SHADED IN THE PROFILE VIEW) SHALL BE BACKFILLED WITH CLASS A CRUSHED STONE PLACED IN ONE FOOT LIFTS COMPACTED TO 95% STANDARD PROCTOR DENSITY. THE TOP 12 INCHES DIRECTLY BELOW THE PAVED SURFACES SHALL BE CLASS A CRUSHED STONE COMPACTED TO 98% STANDARD PROCTOR DENSITY. ALL OTHER TRENCHES WITHIN STREET RIGHT OF WAYS OR WITHIN EASEMENTS ADJACENT TO THE STREET RIGHT OF WAYS SHALL BE BACKFILLED WITH SUITABLE EXCAVATED MATERIAL PLACED IN ONE FOOT LIFTS COMPACTED TO 90% STANDARD PROCTOR DENSITY. IF EXCAVATED MATERIAL IS UNSUITABLE, THEN BACKFILL WITH CLASS A CRUSHED STONE COMPACTED TO WITHIN 12 INCHES OF FINISHED SURFACE. DO NOT PLACE STONE OR ROCK FRAGMENTS LARGER THAN 2 INCHES WITHIN 2 FEET OF PIPE NOR LARGER THAN 12 INCHES IN BACKFILL. DO NOT DROP LARGE MASSES OF BACKFILL MATERIAL INTO TRENCH.
- 5) ENTRY INTO EXISTING CITY MANHOLE OR STORM STRUCTURES REQUIRE CORE DRILL AND WATER TIGHT SEAL IF CORE DRILLING IS IMPRACTICAL DUE TO FIELD CONDITIONS, OTHER METHODS FOR CONNECTIONING MAY BE ALLOWED IF APPROVED BY CITY ENGINEER.
- 6) USE EXTERNAL CHIMNEY SEALS IN NON-PAVED AREAS BY INFI-SHIELD UNIBAND, CRETEX OR APPROVED EQUAL. USE INTERNAL CHIMNEY SEALS IN PAVED AREAS BY CRETEX OR APPROVED EQUAL THAT SPANS FROM THE CASTING TO THE CONE SECTION.
- 7) WATER STOP TO BE USED ON ALL FIELD CONSTRUCTION JOINTS. STRUCTURE FITTING ON POURED IN PLACE BASES, AND WALL PENETRATIONS. ALL PENETRATIONS SHALL BE MADE WATER TIGHT.
- 8) MANHOLES PLACED IN PAVEMENT SHALL HAVE RIM ELEVATION FLUSH WITH THE FINISH GRADE. MANHOLES IN NON-PAVED AREAS SHALL HAVE A RIM ELEVATION 0.20'-FEET ABOVE FINISH GRADE.
- 9) CASTING TO BE PLACED ABOVE OUTLET SIDE OF INTAKE.
- 10) MANHOLE ADJUSTMENT RINGS TO BE CRETEX PRO-RING, AMERICAN HIGHWAY PRODUCTS RUBBER ADJUSTMENT RING, OR STANDARD PCC. IF PCC RING ARE USED, SHIMS TO LEVEL MANHOLE FRAME MADE OF MATERIALS OTHER THAN PCC OR THE RING MATERIAL DISCUSSED ABOVE WILL NOT BE ALLOWED, I.E.: WOOD, BRICK, ROCKS, ETC.
- 11) STEPS WILL NOT BE ALLOWED IN MANHOLES OR INTAKES TO BE TURNED OVER TO THE CITY.
- 12) ALL STORM SEWERS SHALL HAVE CONFINED "O" RING GASKETS OR PROFILE GASKETS. STORM SEWERS 36" AND SMALLER SHALL HAVE BELL AND SPIGOT JOINTS. STORM SEWERS LARGER THAN 36" MAY HAVE TONGUE AND GROOVE JOINTS. NO MASTIC JOINTS ALLOWED.
- 13) ALL PIPE SHALL BE CERTIFIED.
- 14) ALL STORM INTAKES SHALL BE A MINIMUM OF 48 INCHES FROM TOP OF CURB/RIM TO SUBGRADE. IF INVERT ELEVATIONS ARE INSUFFICIENT TO PROVIDE THIS REQUIRED DEPTH, THE CONTRACTOR TO PROVIDE DEEPER STRUCTURE AND POUR CONCRETE FILLET IN INTAKE TO MAKE INTAKE PIPES DRAIN AT INVERT ELEVATIONS LISTED.
- 15) LIFT HOLES IN STORM SEWER WILL NOT BE ALLOWED.
- 16) PROVIDE CONCRETE FILLETS IN ALL NEW & EXISTING DRAINAGE STRUCTURES PER REFERENCED DETAILS.
- 17) MANHOLE FRAME AND LID TO BE NEENAH R-1642 WITH IOWA CITY LOGO.

WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS, OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THOSE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THAT THERE MAY BE OTHER FACILITIES IN THE CONSTRUCTION AREA, THE EXISTENCE OF WHICH IS NOT PRESENTLY KNOWN OR SHOWN HEREON. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION, AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK.

NOTES:

1. PIPE SHALL BE PLACED ON CRUSHED STONE MATERIAL.
2. BELL HOLES SHALL BE HAND SHAPED SO THAT ONLY PIPE BARREL RECEIVES BEARING PRESSURE.
3. PLACE BEDDING TO ENSURE THAT THERE ARE NO VOIDS UNDER OR ALONGSIDE THE LENGTH OF PIPE.
4. BACK FILL SHALL BE HAND TAMPED UP TO 12" ABOVE TOP OF PIPE.
5. SEE TABLE FOR ALLOWABLE TRENCH WIDTH Bd.

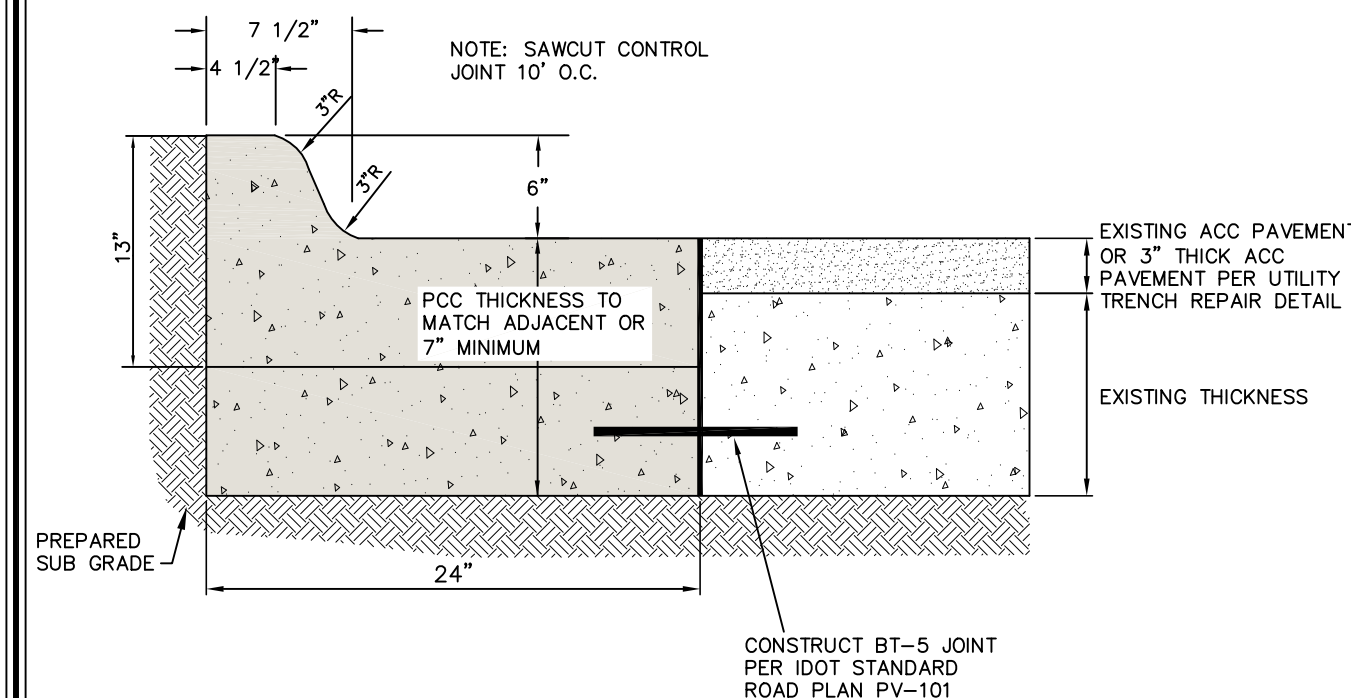
ID INCHES	Bd FEET & INCHES
12	2'-3"
15	2'-9"
18	3'-0"
21	3'-3"
24	3'-6"
30	4'-3"



N.T.S.

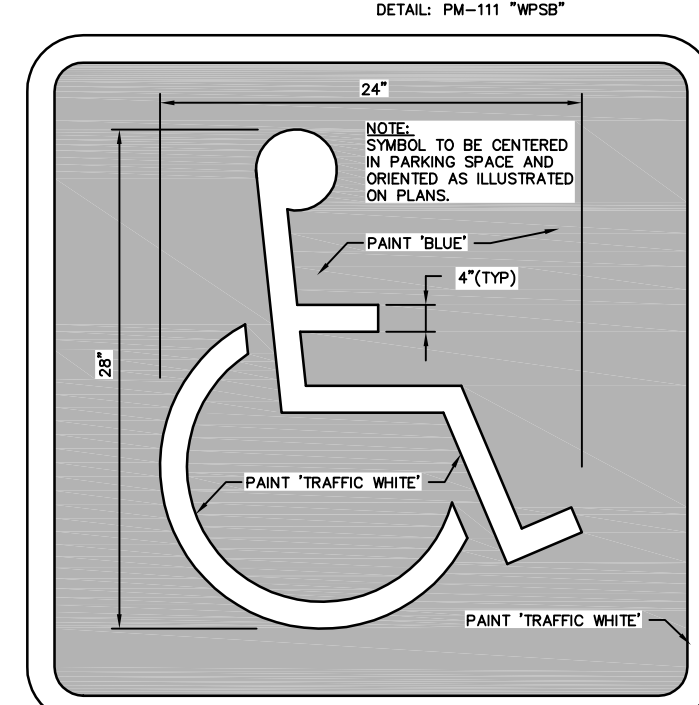
STANDARD CURB DETAIL

N.T.S.



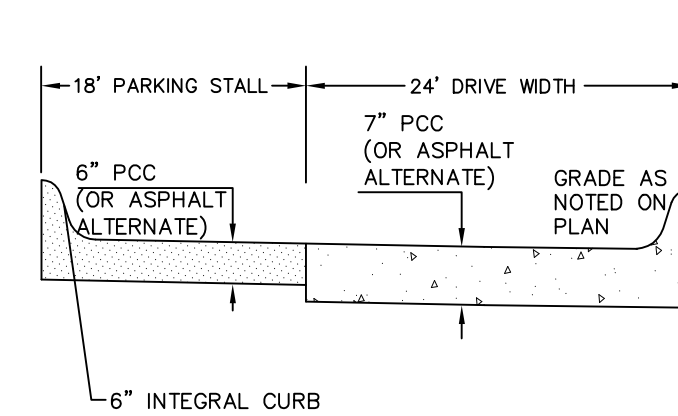
ACCESSIBLE PARKING SYMBOL

IOWA STANDARD ROAD PLAN DETAIL: PM-111 "WPSB"



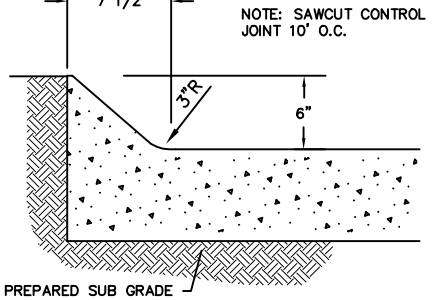
TYPICAL DRIVE/PARKING SECTION

N.T.S.



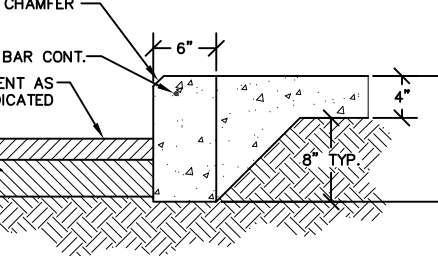
6" STANDARD WEDGE DETAIL

N.T.S.



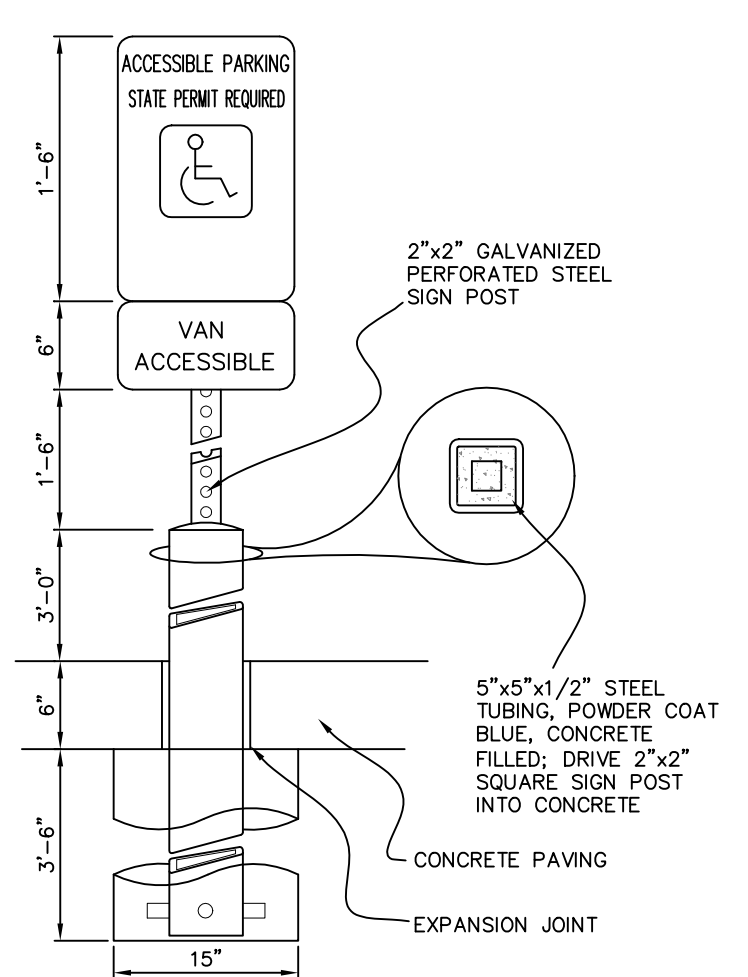
SIDEWALK THICKENED EDGE

N.T.S.



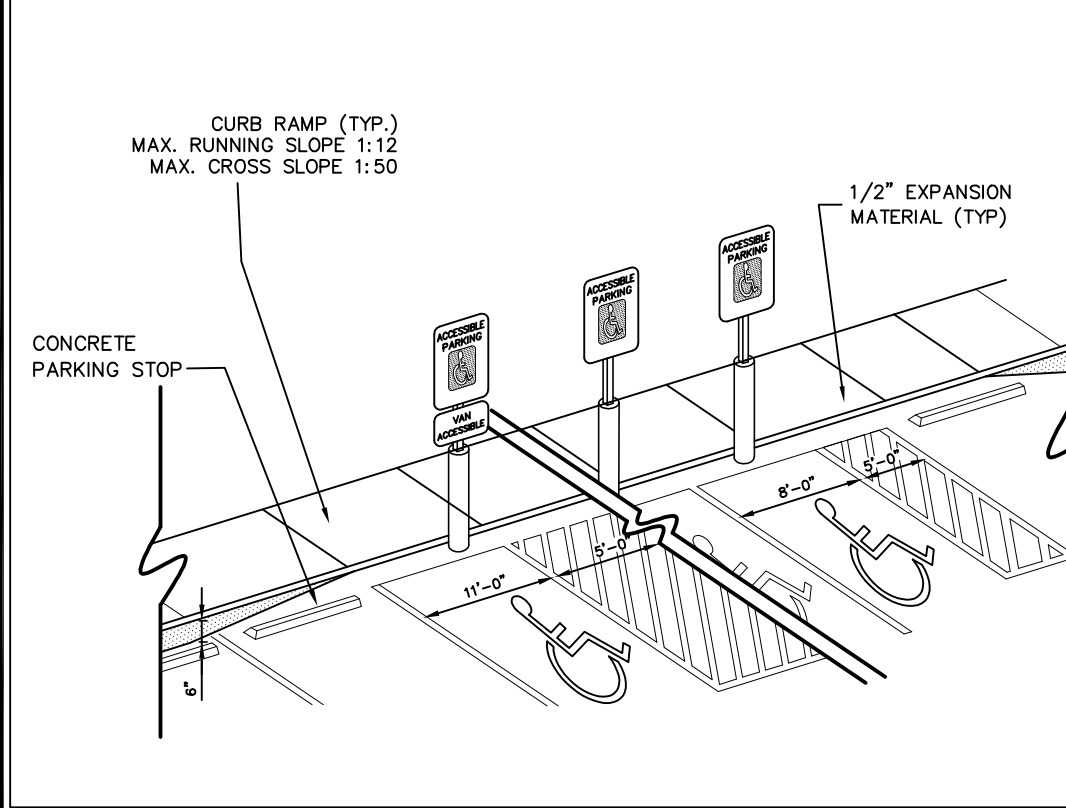
ACCESSIBLE SIGN DETAIL

N.T.S.



ACCESSIBLE PARKING DETAIL

N.T.S.



GENERAL NOTES AND DETAILS

FAITH BAPTIST CHURCH
1251 VILLAGE ROAD

IOWA CITY
JOHNSON COUNTY
IOWA

MMS CONSULTANTS, INC.

Date: 1/9/2019

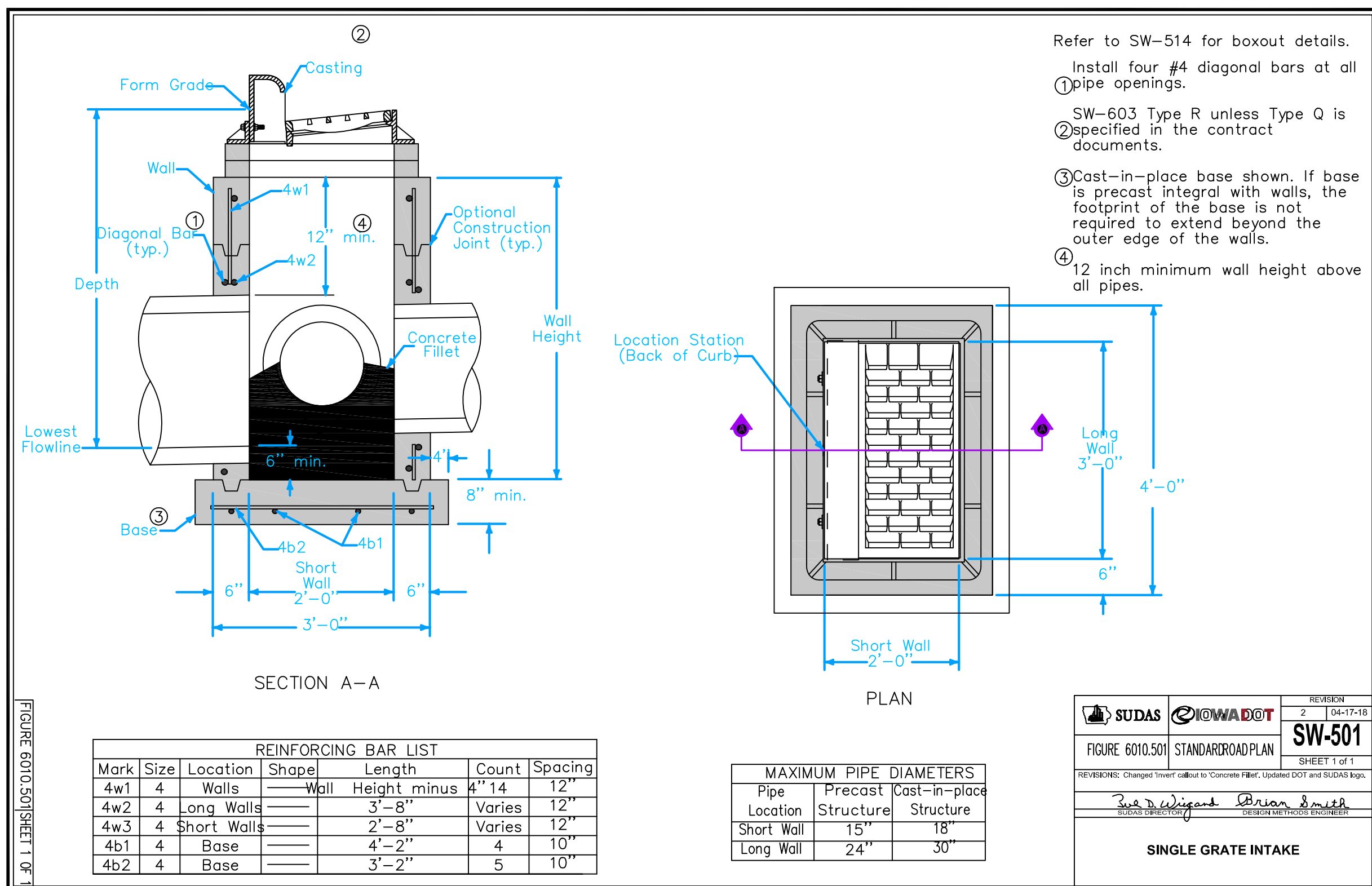
Designed by: PVA Field Book No:

Drawn by: KLE Scale: N/A

Checked by: PVA Sheet No:

Project No: IOWA CITY

10611-001 of 7



**MINUTES
BOARD OF ADJUSTMENT
APRIL 10, 2019 – 5:15 PM
EMMA J. HARVAT HALL, CITY HALL**

PRELIMINARY

MEMBERS PRESENT: Ernie Cox, Connie Goeb, Ryan Hall, Zephan Hazell, Amy Pretorius

MEMBERS ABSENT:

STAFF PRESENT: Susan Dulek, Jessica Lile

OTHERS PRESENT: Doug Fern, Dan Broffitt

CALL TO ORDER:

The meeting was called to order at 5:15 PM.

ROLL CALL:

Goeb took roll call.

SPECIAL EXCEPTION ITEM EXC18-00008:

An application submitted by Linda Annis for a special exception to allow for a buildable, non-conforming lot in the Low Density Single-Family (RS-5) zone single-family zone located between 409 & 415 Kimball Road in order to build a single family home.

Lile noted this application has been withdrawn.

SPECIAL EXCEPTION ITEM EXC19-01:

An application submitted by Faith Academy for a special exception to allow for an expansion of a school operating under a previously granted special exception in a Community Commercial (CC-2) zone located at 1030 Cross Park Avenue.

Lile began the staff report with an aerial view of the building. The zoning map shows the property is in the CC-2 zone. The proposed expansion would be on the south side of the building facing the residential areas. In 2013, Faith Academy was granted a special exception to allow for a General Education Facility in a Community Commercial (CC-2) zone at 1030 Cross Park Avenue to serve 25 kindergarten and 1st grade students. In 2014, Faith Academy applied for and was granted a special exception to expand the size of the school and add more children. This was approved with two conditions, one was completion of a sidewalk connection from the east side of the playground to the school entrance and secondly an enrollment of more than 105 students or an addition of more than 500 square feet of floor area would be considered an expansion of the use and would require a new special exception. Lile noted that in 2014

they also added an entrance, a west entrance, for van loading and unloading and the east entrance for parent drop-off and pick-up. In 2016 Parkview Church began a satellite church at the location as their third location, they were parking on the south side of the building and using the school entrance and using the gym as a worship place. In November 2018 Parkview Church purchased the entire building space north of the school that previously housed Stuff Etc., along with other retailers and the Iowa City Police Department Substation, and plans to expand Parkview Church into the former Stuff Etc., space.

The proposed request is to expand the square footage of the school from just under 14,000 square feet to just over 15,000 square feet. The special exception is just for the school use because CC-2 zones permit religious institutions by right. The school does not have any plans to expand the number of students and are currently at 88 for this school year, the new space will be a combination of church and school space. The school would continue to use the south parking lot and entrance and the church will use the north parking lot and entrance. The total expansion is 27,500 square feet and the school expansion is proposed to include larger classrooms, school offices, restrooms and a library. The common shared area is proposed to include a kitchen, more restrooms, and a common room to be used by the school as a lunch room.

Lile noted the Board of Adjustment is charged with approving with conditions or denying the application based on what is presented, and to be approved the Board must find the application meets all the applicable standards and criteria. With regards to the specific standards/criteria:

1. The use will be functionally compatible with surrounding uses and will not inhibit retail and service uses for which the zone is primarily intended. The board may consider such factors as site layout, size and scale of the development, and traffic circulation. Lile stated the building is over 58,000 square feet and 15,100 of that would be Faith Academy, 5,200 would be for Parkview Church, and 7,200 would be shared common space and then almost 31,000 would be remaining retail space. The only change from retail is using the previous Stuff Etc. building for the school and church extension. The school entrance is located to the south side of the building and away from the commercial area and the parking area for student pick-up and drop-off would remain the same as will the hours of operation.
2. The use must provide a drop off/pick up area in a location that is convenient to, or has good pedestrian access to, the entrance to the facility. The drop off/pick up area must contain sufficient stacking spaces and/or parking spaces to ensure that traffic does not stack into adjacent streets or other public rights of way. Lile noted that about half the students are currently transported to and from school by the school van and are loaded and unloaded at the western entrance while individual drop-offs use the eastern entrance. This area is a one-way alley that can hold 12-15 vehicles at a time and they have a safety coordinator both before and after school to make sure children are safe. Lile added this is also a low traffic area as it faces residential.
3. The site must be designed to promote safe and convenient pedestrian, bicycle, and vehicular circulation to the school according to the standards set forth in subsection 14- 2C- 6F, "Pedestrian, Bicycle, And Vehicular Circulation", of this title. Pedestrian walkways must be established connecting the main entrance(s) of the school to adjacent public sidewalks and trails. Lile stated that currently about 6-8 children walk to and from school. There are sidewalks on both sides of the play area that connect the entrance of the school to Cross Park Avenue and there is also adequate bicycle parking.

Lile next discussed the general standards.

1. The specific proposed exception will not be detrimental to or endanger the public health, safety, comfort or general welfare. The school has been in this location since 2013 with no reported issues so far, there is also a fenced play area for the children to separate them from traffic, there is existing sidewalks to Cross Park Avenue and low traffic volumes in the neighborhood. Finally, the proposed expansion will increase the square footage of the school but not the number of students attending.
2. The specific proposed exception will not be injurious to the use and enjoyment of other property in the immediate vicinity and will not substantially diminish or impair property values in the neighborhood. Faith Academy has been operating in this location since 2013 with a limited enrollment capacity and limited hours of operation. Also, typically places of worship and schools are seen as amenities in a neighborhood and do not negatively impact property values.
3. Establishment of the specific proposed exception will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district in which such property is located. Lile noted there has been no development issues in the past six years of operation and there is still viable commercial space in the front. The school's entrance faces multi-family residential and is separate from the commercial on the north.
4. Adequate utilities, access roads, drainage and/or necessary facilities have been or are being provided. This expansion would not impact the already provided utilities, access roads, and other necessary facilities.
5. Adequate measures have been or will be taken to provide ingress or egress designed to minimize traffic congestion on public streets. The Academy will continue to use their safe and established circulation pattern and since the number of students will remain the same the transportation system will not be impacted by increases in vehicles, congestion, or drop-offs.
6. Except for the specific regulations and standards applicable to the exception being considered, the specific proposed exception, in all other respects, conforms to the applicable regulations or standards of the zone in which it is to be located. Lile reiterated the expansion is for the school and doesn't change the use that is currently there, no new students past the allowable amount, which is currently capped at 105. Additionally for the expansion they must apply for building permits and follow all relevant City Codes.
7. The proposed exception will be consistent with the Comprehensive Plan of the City, as amended. The Comprehensive Plan calls for neighborhood elementary schools as an integral part of healthy, sustainable neighborhoods as they provide a relationship with the surrounding neighborhood that facilitates social connections. The South District Plan sees neighborhood schools, especially elementary schools, as "integral to healthy, sustainable neighborhoods."

Staff recommends approval of EXC19-01, a special exception to allow the expansion of a General Education Facility for approximately 11,000 square feet in a Community Commercial (CC-2) zone located at 1030 Cross Park Avenue subject to the following condition:

1. An enrollment of more than 105 students or an addition of more than 500 square feet of floor area will be considered an expansion of use that requires a new special exception.
2. Maintenance of the sidewalk connection along the east side of the playground to the school entrance that was a condition of the 2014 special exception.

Goeb opened the public hearing.

Doug Fern (17 Fairview Knoll, NE) is the Head of School at Faith Academy and wanted to thank the Board for considering this application. He wanted to emphasize as far as the scope of their organization there are no plans to increase the scope. Their enrollment is currently at 88, they are a K-6 grade school and plan to remain that way for the foreseeable future. They cap their classrooms at 15 students, and see this as a better way to serve the population they currently are.

Dan Broffitt (221 E. College Street) is with Neumann Munson Architects representing Faith Academy and Parkview Church. He wanted to clarify just one point, the footprint occupied by Faith Academy and Parkview Church is going to expand by approximately 13,700 square feet, however a lot of that space is designated to church and common shared space between the two and therefore is just over 1,000 square feet in expansion just for the school. They are considering the sanctuary space as church space, the school likely will use it for assemblies instead of setting up in the gym as previously done, however the sanctuary space would not be built if Parkview Church was not also in the space.

Hall asked if the square footage is going to increase for the school is it necessary to expand the restriction on how many students can attend the school. Lile said staff decided to keep the restriction at 105 because the school is pretty far away from that now and they don't plan on expanding their number of students or classrooms significantly. The expansion is just to have larger spaces and have better use of the space.

Goeb closed the public hearing.

Hall noted the application seems very straight forward and thanked the staff for being so diligent with the report. Seems like a good expansion of the space.

Hazell echoed and noted this is a good use of the space vacated by Stuff Etc., and in no way detracts from the neighborhood.

Pretorius noted there has been a large turnover in retail spaces and it will be nice to have something here that is sustainable.

Goeb added there is plenty of parking.

Pretorius moves to approve EXC19-01, a special exception to allow the expansion of a General Education Facility for approximately 11,000 square feet in a Community Commercial (CC-2) zone located at 1030 Cross Park Avenue subject to the following condition:

- 1. An enrollment of more than 105 students or an addition of more than 500 square feet of floor area will be considered an expansion of use that requires a new special exception.**
- 2. Maintenance of the sidewalk connection along the east side of the playground to the school entrance that was a condition of the 2014 special exception.**

Hall seconded the motion.

Hall stated that regarding agenda item EXC19-01 he concurs with the findings set forth in the staff report of April 10, 2019, and conclude the general and specific criteria are satisfied. So

unless amended or opposed by another Board member he recommends that the Board adopt the findings in the staff report as our findings with acceptance of this proposal.

Pretorius seconded the findings.

A vote was taken and the motion carried 5-0.

Goeb stated the motion declared approved, any person who wishes to appeal this decision to a court of record may do so within 30 days after this decision is filed with the City Clerk's Office.

BOARD INFORMATION:

Clarification of language involving alternative selection. Lile noted Dulek prepared a memo for the Board. There were no Board questions. Goeb noted it was all acceptable and others agreed.

CONSIDER THE FEBRUARY 13, 2019 AND MARCH 13, 2019 MINUTES:

Hall moved to approve the minutes of February 13, 2019 and March 13, 2019, with attendance corrections. Pretorius seconded the motion.

A vote was taken and the motion carried 5-0.

ADJOURNMENT:

Pretorius moved to adjourn this meeting.

Hazell seconded.

A vote was taken and the motion passed 5-0

**BOARD OF ADJUSTMENT
ATTENDANCE RECORD
2018-20198**

NAME	TERM EXP.	5/09	6/13	8/18	12/12	2/13	3/13	4/10
COX, ERNIE	12/31/2020	--	--	--	--	--	O/E	X
GOEB, CONNIE	12/31/2019	X	X	X	X	O/E	X	X
HALL, RYAN	12/31/2022	X	X	X	X	X	X	X
HAZELL, ZEPHAN	12/31/2021	--	--	--	--	X	X	X
PRETORIUS, AMY	12/31/2023	--	--	--	--	X	X	X

KEY: X = Present
 O = Absent
 O/E = Absent/Excused
 --- = Not a Member